

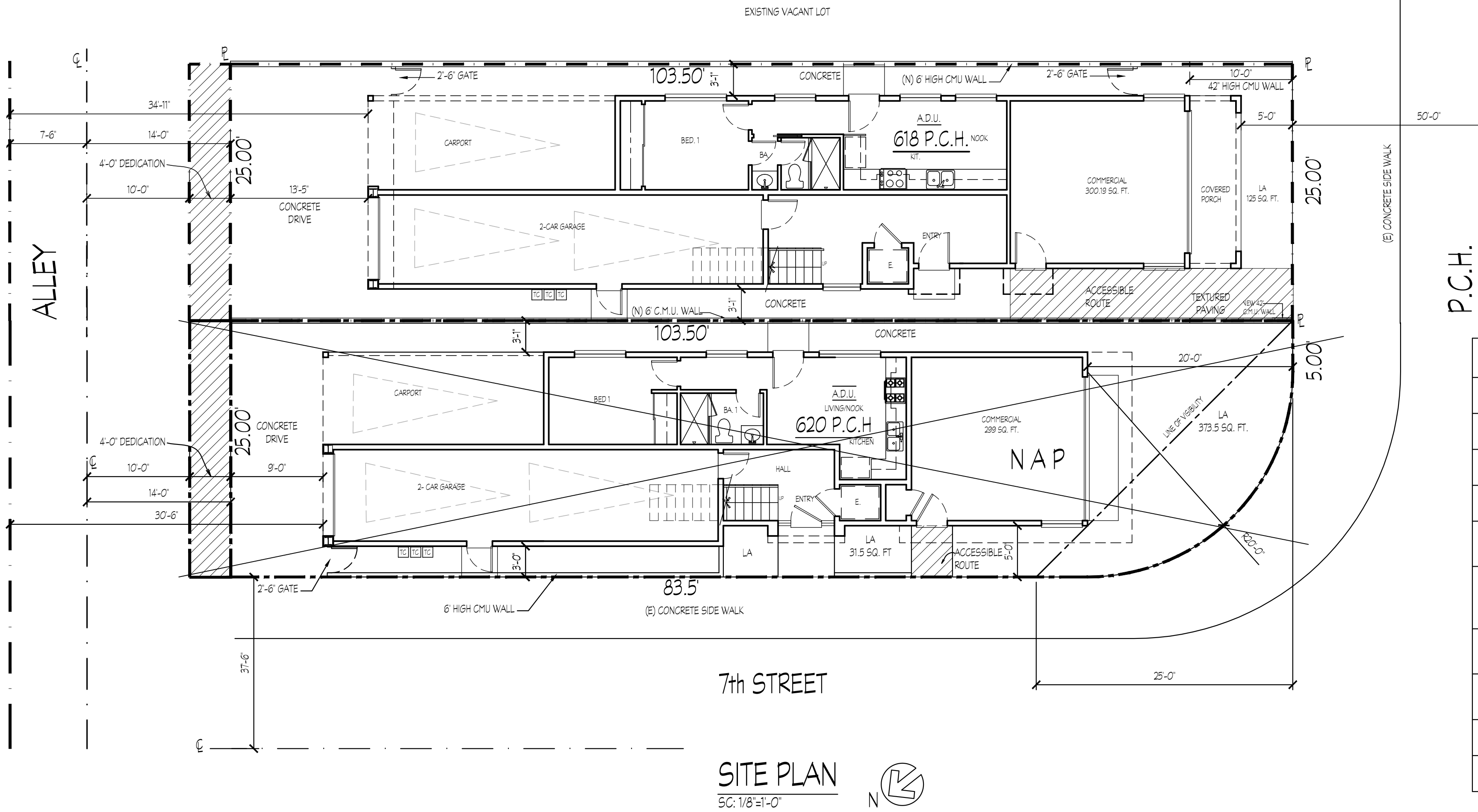
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NOTE:

1. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM DWELLING. THE GRADE SHALL BE FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
2. BLOCK WALL FENCING AND ALL FENCES/WALLS ARE TO BE PERMITTED SEPARATELY.

ZONING CONFORMANCE MATRIX

PROPERTY DEVELOPMENT STANDARDS: DISTRICT 1 (LIVE / WORK UNIT)

SUBJECT	CODE SECTION	REQUIRED	PROPOSED
MIN. PARCEL SIZE	3.3.1.5	25 FT. OF FRONTAGE AND 2,500 SQ. FT. OF NET AREA	25 FT. OF FRONTAGE AND 2,587.5 SQ. FT. OF NET AREA
MAX. SITE COVERAGE	3.3.1.6	NO. MAX. SITE COVERAGE WILL BE REQUIRED	1,309.37 SQ. FT.
MAX. BUILDING HEIGHT	3.3.1.8	< 8,000 SQ. FT. NET SITE AREA: 35 FT. & 3 STORIES	34'-6" ON TOP OF ROOF DECK PARAPET WALL + 5'-6" TO THE TOP OF STAIRS
MIN. SET BACK UPPER STORY SET BACK	3.3.1.9	10 FT. AVERAGE SET BACK FROM THE GROUND FLOOR OF FACADE FOR PORTIONS OF THE FRONT FACADE ON THE THIRD AND FOURTH STORIES	10'-0" / UNIT
FRONT YARD SET BACK INTERIOR SIDE SET BACK REAR YARD SETBACK	3.3.1.1.10 3.3.1.1.11 3.3.1.1.13	0 FT. - MAX. 5 FT. 0 FT. 5 FT.	5'-0" / UNIT 3'-1" / UNIT 3'-4" / UNIT
PARKING	231.04 SCHEDULE 'A'	1 BEDROOM RESIDENTIAL UNITS: 1 SPACE PER UNIT COMMERCIAL: 1 SPACE / 500 SQ. FT.	2-CAR GARAGE FOR 3-BDRM / UNIT 1-SPACE / UNIT
MAX. FLOOR AREA RATIO	3.3.1.4	3,000 SQ. FT.	2,974.64 SQ. FT.
LANDSCAPING	3.3.12	125.15 SQ. FT. REQUIRED	318.5 SQ. FT. SHOWN

SYMBOLS

NOTES

MISCELLANEOUS NOTES

STRUCTURAL OBSERVATION

PROJECT ANALYSIS

INDEX OF DRAWINGS

SYMBOL

DESCRIPTION

	110 VOLT DOUBLE OUTLET
	220 VOLT DOUBLE OUTLET
	110 VOLT DOUBLE OUTLET WEATHER PROOF
	110 VOLT DOUBLE OUTLET DEDICATED
	INCANDESCENT LIGHT FIXTURE
	FLUSH LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE
	BRACKET LIGHT FIXTURE
	FLUSH LIGHT FIXT. WATERPROOF
	HEAT-LIGHT FAN COMBINATION FIXTURE
	ONE AIR CHANGER PER 5 MINUTES
	VENT FAN 500 ONE AIR CHANGE PER 5 MINUTES
	SINGLE POLE SWITCH - SILENT TYPE
	3-WAY POLE SWITCH - SILENT TYPE
	4-WAY POLE SWITCH - SILENT TYPE
	110 VOLT OUTLET (J BOX)
	220 VOLT OUTLET (J BOX)
	DOUBLE EAVES FLOOD LIGHT
	PHONE OUTLET
	INTERCOM SPEAKER
	INTERCOM MASTER PANEL
	CABLE OUTLET
	THERMOSTAT
	FLOOR REGISTER (6" X 14")
	CEILING REGISTER (6" X 14")
	WALL REGISTER HI. TYPE (6" X 14")
	FUEL GAS OUTLET
	LOOSE KEY VALVE
	HOSE BIBB
	WATER OUTLET FOR REFRIG. OR ICE MAKER
	ROOF DRAIN w/ OVERFLOW
	FLOOR DRAIN
	TV CABLE
	DOOR BELL
	DOOR BELL CHIME
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	SPEAKER
	ELECTRIC VEHICLE EQUIPMENT
	CEILING/SURFACE MOUNT COMBINATION FAN/LIGHT FIXTURE WITH HIGH EFFICACY LAMPS
	VACANCY SENSOR
	SHOWER
	BUILDING SECTION
	DETAIL REFERENCE
	PLAN REVISION
	DOOR NUMBER
	WINDOW LETTER

1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE ENGINEER BEFORE PROCEEDING WITH WORK.
2. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE DEVELOPERS AND ENGINEERS ATTENTION IMMEDIATELY.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
5. CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLABOR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING, OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1).
6. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.1.2)

THESE PLANS SHALL COMPLY WITH 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CBC, 2022 CCB, 2022 CEC, 2022 CPC, 2022 CMG, 2022 CFC, 2022 T24 ENERGY CODE, AND HUNTINGTON BEACH MUNICIPAL CODE 17.05 AND HB350 230.84.

FIRE DEPARTMENT NOTES

- A. A 13D RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED FOR BOTH PROPERTIES. A SEPARATE SUBMITTAL FOR FIRE SPRINKLERS (COMPLYING WITH NFPA 13D) IS REQUIRED. TWO SETS OF FIRE SPRINKLER PLANS SHALL BE SUBMITTED TO THE HBPD FOR REVIEW AND APPROVAL.

NOTE: FIRE FLOW INFORMATION FROM THE CITY OF HUNTINGTON BEACH IS REQUIRED TO BE INCLUDED WITH SPRINKLER PLAN SUBMITTALS. TO OBTAIN THE FIRE FLOW INFORMATION, HAVE THE SPRINKLER CONTRACTOR COMPLETE THE "FIRE FLOW INFORMATION FORM" IN WORD FORMAT AVAILABLE AT THE FOLLOWING LINK :

SEND THIS FIRE FLOW INFORMATION REQUEST TO ONCE SUBMITTED, THE HBPD WILL FORWARD TO THE REQUEST TO THE PUBLIC WORKS DEPARTMENT. THE AVERAGE TURNAROUND TIME FOR FIRE FLOW INFORMATION REQUESTS IS 10 BUSINESS DAYS.
- B. MAINTAIN JOBSITE SAFETY DURING CONSTRUCTION AS PER CHAPTER 33 OF 2022 CALIFORNIA FIRE CODE.
- C. ADDRESS NUMBERS MUST BE PLACED OVER THE EXTERIOR OF THE MAIN ENTRANCE AS PER CITY SPECIFICATION #428. ADDRESS NUMBERS SHALL BE A MINIMUM OF 4" HIGH NUMBERS WITH A MINIMUM 1/8" STROKE, AND THEY MUST CONTRAST WITH THE BACKGROUND.
- D. DISCOVERY OF SOIL CONTAMINATION/PIPELINES, ETC., MUST BE REPORTED TO THE FIRE DEPARTMENT IMMEDIATELY AND ALL WORK STOPPED UNTIL APPROVAL IS PROCEED IS OBTAINED FROM THE FIRE DEPARTMENT.
- E. FOR FIRE DEPARTMENT INSPECTIONS, CALL AT LEAST 3 DAYS IN ADVANCE TO SCHEDULE INSPECTIONS.

- A. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R109.3.2 CRC)
- B. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS; A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R105.5 CRC).
- C. FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY OF HUNTINGTON BEACH FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT THE TIME OF FRAMING INSPECTION.
- D. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX 1 OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.
- E. AUTOMATIC GARAGE DOOR OPENER BY "LIFTMASTER" NO. 3565, UL325 LISTED.
- F. CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUB-FLOOR. (R109.1.1.1)
- G. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION.
- H. FOR 3 STORY HOMES, A WATER DEPARTMENT APPROVED BACKFLOW PREVENTER MUST BE INSTALLED, COORDINATE WITH THE WATER DEPARTMENT PRIOR TO SUBMITTING SPRINKLER PLANS FOR REVIEW.
- I. ALL FENCES, WALLS, AND OTHER DETACHED OR ATTACHED STRUCTURES EXCEEDING 36 INCHES IN HEIGHT REQUIRE SEPARATE PERMITS AND REVIEW. THIS INCLUDES PATIO COVERS, SWIMMING POOLS, RETAINING WALLS, AND DEMOLITION.
- J. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM.
- K. EFFECTIVE JAN. 1, 2014, SB407 REQUIRES REPLACEMENT OF ALL NON COMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN. 1, 1994 WITH WATER - CONSERVING PLUMBING FIXTURES.
- M. ALL DOORS AND WINDOWS SHALL MEET HUNTINGTON BEACH SECURITY ORDINANCE. - SEE A-8 FOR NOTES.
- N. MECHANICAL, ELECTRICAL, AND PLUMBING PLANS ARE NOT REVIEWED AND ARE SUBJECT TO FIELD INSPECTION.

1. ENGINEER OR ARCHITECT OF RECORD SHALL OBSERVE THAT ALL FOUNDATION HARDWARE PER PLAN IS IN PLACE PRIOR TO INSPECTION OTHER THAN HARDWARE THAT IS PLACED DURING POUR UNLESS OTHERWISE NOTED.
2. ENGINEER OF RECORD SHALL OBSERVE THAT ALL SHEAR WALLS AND METAL HARDWARE ARE PER PLAN UNLESS OTHERWISE NOTED.
3. THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR STRUCTURAL DESIGN TO PERFORM STRUCTURAL OBSERVATION PER SEC. 220. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNERS REPRESENTATIVE. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THE SITE VISITS HAVE BEEN MADE AND IDENTIFIED ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVERS KNOWLEDGE, HAVE NOT BEEN RESOLVED.

LANDSCAPE NOTES

- A. CONTROLLERS SHALL BE WEATHER - OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE.
- B. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S).
- C. OUTDOOR WATER USE - AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED SHALL BE AVAILABLE AT THE TIME OF FINAL INSPECTION. (4-304 CGB5C)

MECHANICAL NOTES

- A. COVER RETURN AND SUPPLY OPENINGS WITH PLASTIC OR SHEET METAL.
- B. WRAP OR PROTECT EQUIPMENT STORED ON THE JOBSITE FOR FUTURE INSTALLATION.
- C. IF NECESSARY PLAN FOR ALTERNATE SPACE CONDITIONING SYSTEMS DURING CONSTRUCTION.
- D. THE MOISTURE CONTENT OF CONSTRUCTION MATERIALS PRIOR TO APPROVAL TO ENCLOSE WALL AND FLOOR CAVITIES WITH DRYWALL OR OTHER SURFACES. (4-505.3 CGB5C).

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS TO BE REVIEWED BY THE PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

1. FIRE SPRINKLER PLANS
2. METHANE PLANS

SCOPE OF WORK

NEW 3-STORY SFD WITH ATTACHED 2-CAR GARAGE, A.D.U., AND WORK SPACE

P.C.H.

REVISIONS	BY

ARCHITECTURE

PLANNING

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PROPOSED NEW RESIDENCE AT 618 PACIFIC COAST HIGHWAY FOR:

10622 Court Ave. LLC

5050 W. Mission Boulevard,
Ontario, CA 91762
(626) 340-5461

DRAWN

CHECKED

DATE

SCALE

JOB NO.

SHEET

T-1

OF

SHEETS

FLOOR PLAN NOTES

- 1 BUILT-IN CABINETS (VERIFY W/ OWNER)
2 TWO COMPARTMENT SINK (C.I.) W/ GARBAGE DISPOSAL
3 DISHWASHER
4 48" RANGE
5 TRASH COMPACTOR (OPTIONAL)
6 WINE REFRIGERATOR
7 ALL EXHAUST FANS W/ 5 MIN AIR CHANGES PER HOUR TYP.
8 RANGE - VERIFY
9 PANTRY W/ BUILT-IN SHELVES
10 KITCHEN HOOD EXHAUST FAN DUCTED TO THE OUTSIDE W/ MIN. VENTILATION RATE OF 100cfm. THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1
11 REFRIGERATOR/FREEZER - VERIFY
12 TYP 3/8" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
13 UPPER CABINETS
14 ARCH
15 WATER CLOSET-30" MIN. WIDTH, 24" CLEAR IN FRONT OF TOILET
16 30" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
17 BATHROOM MIRROR
18 BUILT-IN MEDICINE CABINET
19 SHOWER W/ NON-ABSORBENT WALLS AT 72" MIN. ABOVE DRAIN TYP.
20 LINE OF SOFFIT
21 VERIFY ALL ELECTRIC LIGHTING LOCATIONS W/ OWNER TYP
22 EX-RESS WINDOW OR DOOR TYP.
23 OVERSIZED WHIRLPOOL TUB W/ SPLASH (OPTIONAL WHIRLPOOL)
24 LINEN CABINET W/ SHELVES
25 WINDOWS AND EXTERIOR DOORS SHALL BE VINYL
26 FAU IN ATTIC W/ GAS ELECTRICITY AND LIGHT W/ SWITCH AND MIN 3/8" WIDE PLYWOOD PATH TO FAU W/ 3/8" MIN SPACE IN FRONT OF FAU
27 72" HIGH SOLID GUARDRAIL
28 WASHER OVERFLOW PAN W/ DRAIN (OPTIONAL)
29 NICHE
30 DIRECT VENT SEALED-COMBUSTION GAS APPLIANCE 'HEAT & GLO' COSM042 UL307B. CLOSABLE METAL OR GLASS COVERING OVER THE ENTIRE OPENING OF THE FIRE BOX. COMBUSTION AIR INTAKE FROM OUTSIDE OF BUILDING DIRECTLY INTO FIREBOX OF AT LEAST 6" SQ. AND HAS AN ACCESSIBLE, OPERABLE AND TIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE. A FIVE DAMPER WITH A READILY ACCESSIBLE CONTROL.
31 CLOTHES DRYER MOISTURE EXHAUST DUCT TO BE MIN. 4" DIA., TO THE OUTSIDE AND EQUIP W/ A BACK-DRAFT DAMPER. EXHAUSTER DUCT LENGTH IS LIMITED TO 14FT. W/ 2 ELBOWS. CMG 504 4.2.
32 5/8" TYPE 'X' GYP BOARD OR EQUAL (1-HOUR) AT WALLS, CEILINGS, POST & BEAMS TYP.
33 SHELF AND POLE (VERIFY DOUBLE SHELF & POLE LOCATIONS W/ OWNER)
34 SHOWER SEAT
35 ALL BATHROOM WINDOWS SHALL BE TRANSLUCENT OR OBTUSCURE SHELVES
36 LINE OF FLOOR ABOVE
37 ALL NEW DOORS/WINDOW MUST COMPLY W/ BLDG. SEC. EA: 1427 STD ORDNANCE #1-79
38 MAXIMUM SILL HEIGHT OF 44"
39 DECKING BY POLYCOAT, ICGT NO. 2785 BLOCK ALL EDGES OF PLYWOOD (MIN. 1/4"-1/2" SLOPE) (CC-ESR 2785)
40 PROVIDE SMOKE DETECTORS IN EACH SLEEPING ROOM, IN EACH CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA, BATTERY OK (SEE PLAN)
41 STUCCO SOFFIT

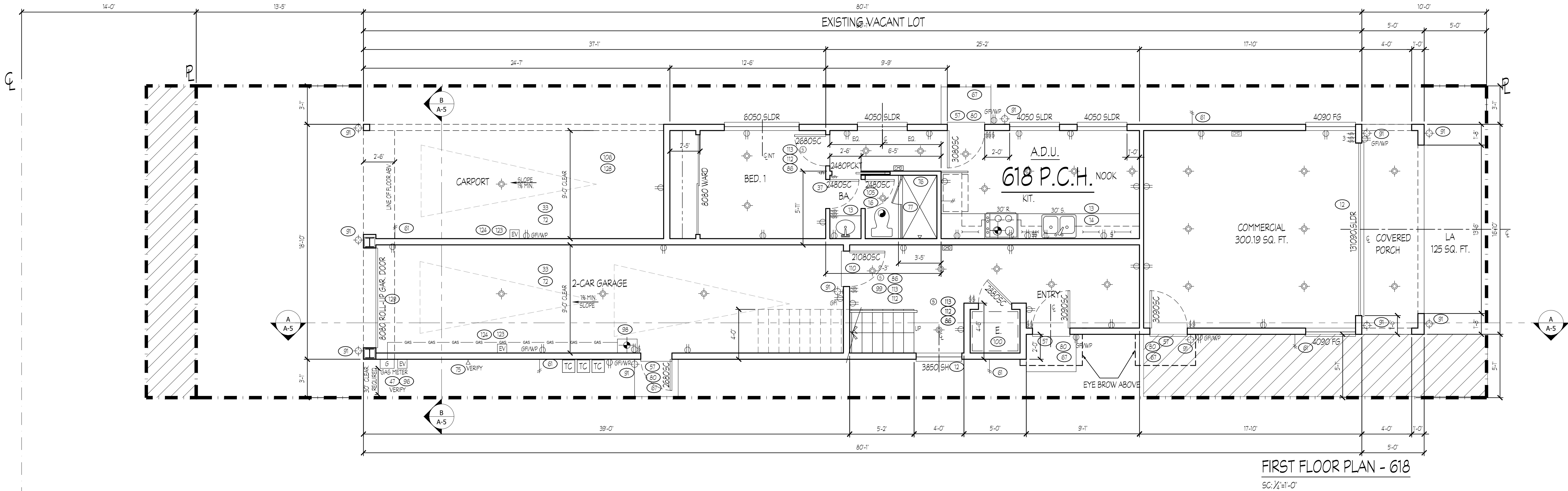
- 42 SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DRAWING UNIT IN WHICH THEY ARE LOCATED
43 WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ 1.28 GALLONS MAX. PER FLUSH (402.3 U.P.C.) CONTROL VALVE FOR SHOWER/TUB SHOWER SHALL BE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE AND NON-SCALDING AND PER CPC
44 COMBUSTIBLE MATERIAL SHALL NOT BE PLACED WITHIN 6" OF FIREPLACE OPENING. NO SUCH MATERIAL WITHIN 12" OF FP OPENING SHALL PROJECT MORE THAN 1/8" FROM EACH 1" CLEARANCE FROM SUCH OPENING
45 VERIFY ALL UTILITY LOCATIONS W/ OWNER TYP
46 WINDOWS AND DOORS TO BE RECESSED WITHIN 2X8 STUD WALL
47 F.P. VENT BLOCK OUT (TYPICAL) VENT TO OUTSIDE OR ABOVE ROOF
48 NO SLIP JOINTS ALLOWED FOR TUB DRAIN AND OVERFLOW
49 SHOWER, DRAIN W/ OPTIONAL APPROACH INTEGRATED SHOWER PAN
50 TUB ACCESS OR SHOWER ACCESS SEE PLAN TYP.
51 (1-HOUR) CONSTRUCTION AT ROOF EAVE/OVERHANG LESS THAN 3" FROM PROPERTY LINES TYP.
52 THIS ROOM WILL NOT BE USED AS A SLEEPING ROOM
53 1" MAX. STEP
54 ALL BEDROOM RECEPTACLES TO BE A F.I.C. PROTECTED PER NEC 210-12 OR SEC. TYP.
55 LANDING IN FRONT OF THE DOOR-RECESS DOOR AS REQUIRED - 3'-0" MIN. DEPTH
56 ALL G.F.C.I. SHALL BE AN 20 AMP DEDICATED CIRCUITS TYP.
57 30" SQ. ATTIC ACCESS, WEATHER STRIPED OR SEALED WITH 30" MIN. HEADROOM
58 CONC. LANDING OR HARDSCAPE TYP.
59 RECESSED H.B. W/ ANTI-SIPHON DEVICE TYP.
60 VERIFY ALL LIGHTING LOCATIONS W/ OWNER TYP.
61 5/8" TYPE 'X' GB. AT USABLE SPACE UNDER STAIR (1-HOUR) TYP.
62 CONT. HANDRAIL
63 ALL LIGHTING SHALL BE PER NEC, AND 2022 CEC, AND 2022 ENERGY CODE ARE SUBJECT TO FIELD INSPECTION AND APPROVAL BY FIELD INSPECTOR TYP.
64 PROVIDE MIN. OF 40 WATTS OR LUMENS OR GREATER FOR KITCHEN LIGHTING TYP. - SEE T24
65 CONC. LANDING OR - HARDSCAPE TYP. SLOPE AWAY FROM BUILDING W/ MIN. 1/4" / 12"
66 PROVIDE FOR FUTURE FOUNTAIN: WATER, ELECT. AND DRAIN
67 V.T.O. W/ BACK DRAFT DAMPER AT LAUNDRY
68 PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING AT QUICK-ACTING VALVES FROM THE WASHER, DISHWASHER ETC. (809, 10 U.P.C. OR 2022 C.P.C.) TYP.
69 1" DIA. ST. PIPE CONC. FILLED AND SET IN 1'-0" SQ. CONC. FTG (2'-0") MIN. HGT.
70 2-LAYERS AT CEILING 5/8" TYPE 'X' GB. @ WALLS, CLG. POSTS, BRNS., (1-HOUR) @ TRUSSES
71 SUSPENDED F.A.U. AT CLG. PROVIDE ELECT. GAS, MIN. 7'-0" HEAD HGT. UNDER, W/ 32" CLEAR AREA IN FRONT OR SIDE OF FAU (VERIFY)
72 ALL G.F.C.I. SHALL BE AN 20 AMP DEDICATED CIRCUIT TYP.
73 COLD SHOWER
74 CERAMIC TILE O/ CEMENT PLASTER TO 472" ABOVE DRAIN (TYP.), OR EQUAL AND 30" DIA. CLR. MIN. AND 1024 SQ. IN. MIN. TYP.
75 TEMP. GLASS ENCLOSURE AND 22" MIN. WIDTH DOOR
76 24" CLR. IN FRONT (TYPICAL)
77 ALL BORN RECEPTACLES TO BE AFCI PROTECTED PER C.E.C. 2022 AND 2022 ENERGY CODE SEE 3012
78 MAX. 7.75" THRESHOLD AT FRONT DOOR
79 1/2"x4" H. FIREBOX (VERIFY) HDR. AT 49'-6" PROVIDE 3/8" PLYWD OR 5/8" TYPE 'X' GYP BD DRAFT STOP. F.P. FLUEWELL-MAX. 10'-0" OC 442" H' GUARDRAIL W/ 3 7/8" MAX. OPENING HANDRAIL SHALL BE CONT.

- 80 42" HIGH SOLID GUARDRAIL
81 42" HIGH GUARDRAIL W/ 3 7/8" MAX. OPENINGS 13'-6" H. MIN.
82 PROVIDE ELECT. AND CABLE 4'-0" FOR TV (VERIFY W/ OWNER)
83 NEW SMOKE DETECTORS SHALL BE (HARDWIRED) 110V AND W/ BATTERY POWER TYPICAL
84 OBTUSCURE GLASS
85 PROVIDE DECK DRAIN AND OVERFLOW DRAIN, 3" MIN. AND 2" MIN. VERTICAL
86 CANT STRIPS TO DECK DRAIN AND OVERFLOW
87 ALL NEW LIGHTING FIXTURES AND SWITCHING PER 2022 ENERGY CODE TYP.
88 TIME CLOCK OR FLUR. SENSOR TYP.
89 PROVIDE DD AND DD 3" MIN. HORIZ. AND 2" MIN VERTICAL TYP.
90 (3'-0") DECK DRAIN, OVERFLOW DRAIN
91 DECK SCULPPER
92 CANTS TYP.
93 PROVIDE R-19 BAT INSULATION IN RAISED FLOORS TYP.
94 ELECTRICAL PANEL 200amp MIN.
95 A WARM AIR FURNACE IN AN ATTIC SHALL COMPLY WITH THE FOLLOWING PER CPC 9080
1. THE FURNACE LOCATED NOT GREATER THAN 20 FEET FROM THE ATTIC ACCESS.
2. A LEVEL WORKING PLATFORM 30 INCHES IN DEPTH IN FRONT OF THE ENTIRE FIREBOX SIDE
3. A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE ATTIC ACCESS SHOULD BE PROVIDED AT OR NEAR THE FURNACE
4. AIR-COOLING COILS LOCATED IN THE ATTIC SHALL HAVE A SECOND WATER-TIGHT PAN INSTALLED BENEATH THEM PER CMG 110610 13th 51 & 1106.12
96 TANKLESS WATER HEATER - V.T.O.
97 INTERIOR HANDRAILS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND APPROVED STRUCTURALLY BY THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION OF STAIR, BALCONY, BALLUSTRADES SHALL HAVE A CLEAR SPACING OF 3 7/8" MAXIMUM, EXTEND HANDRAIL 6" BEYOND TOP AND BOTTOM TREAD, MAXIMUM STAIR RISE SHALL BE 7 3/8", MINIMUM STAIR RUN SHALL 10", STAIR HEADROOM SHALL BE MINIMUM 6'-8"
98 ELEVATOR INTERIOR WALLS AND CLG. SHALL BE LINED W/ 5/8" TYPE 'X' GYP BRD. (ENTIRE SHAFT) (1-HOUR) PER CBC 2022 IF APPLICABLE
99 FIREPLACE LESS THAN 36" FROM PROP. LINE SHALL BE LINED W/ 5/8" TYPE 'X' GYP BRD. (1-HOUR) AT INTERIOR OF FP AND MIN 7/8" THICK EXTERIOR STUCCO AT EXTERIOR
100 AIR AND HEAT SUPPLY REGISTER AND LOCATION TYP.
101 RETURN AIR
102 EAVES OVER REQUIRED WINDOWS FOR 3'-0" SIDE YARD MAY EXTEND 6" INTO SIDE YARD W/ (1-HOUR) PROTECTION AND 30" CLEAR PROP. LINE. EAVES LESS THAN 5'-0" FROM PROP LINE TO BE (1-HOUR)
103 CONSTRUCTION TYP.
104 ALL BATHROOM FANS SHALL BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY A HUMIDISTAT CAPABLE OF BEING ADJUSTED BETWEEN THE RELATIVE HUMIDITY RANGE OF 50 TO 80%. CG96 4.506.
105 ICE MAKER
106 WARMING DRAWER
107 MICROWAVE OVEN
108 42" HIGH WINDOW SEAT
109 13/8" THK. BC. SELF-CLOSING, TIGHT FITTING, SELF LATCHING SOLID WOOD DOOR
110 FAU PROVIDE ELECTRICAL/GAS PER MANUFACTURER SPECIFICATIONS
111 SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
112 SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACK-UP

- 113 CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
114 CARBON MONOXIDE DETECTORS SHALL BE HARD WIRED AND SHALL BE EQUIPPED WITH BATTERY BACK-UP
115 HIGH EFFICACY LUMINAIRES MUST BE TYPICAL
116 ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE PHASE, 15 & 20 AMPERE OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S)-REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST OUTLETS
117 BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT
118 NOTE
WHOLE BUILDING VENTILATION EQUATION:
NITROGEN DIOXIDE = 7.5(4) + 58.55 CFM
SWITCH THAT READS: KEEP ON EXCEPT WHEN GONE OVER 7 DAYS
COVERS FOR FAN SHALL HAVE MIN. INSULATION OF R-4.2
DOORS SHALL HAVE A MINIMUM OPENING OF 100 SQ. IN. FOR MAKEUP AIR SHALL BE PROVIDE IN DOOR
119 DRIVEN GROUNDING ELECTRODES SHALL BE STAINLESS STEEL, A MINIMUM OF 5/8" DIA. AND A MINIMUM OF 6' DRIVEN INTO THE SOIL (H.B.M.C.). THE GROUNDING ELECTRODE CONDUCTOR CONNECTOR TO A DRIVEN ELECTRODE SHALL BE LISTED FOR THIS PURPOSE. (250.70 CEC)
120 ALL RECEPTACLES IN BATHROOMS, GARAGES, OUTDOORS, KITCHEN, LAUNDRY, UTILITY, WET BARS SINKS (WITHIN 6' OF EDGE OF SINK) SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION. (201.8 CEC)
121 LOCATION OF FUTURE EV CHARGER AND LISTED BRANCH PROVIDED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. RACEWAY SHALL BE MINIMUM TRADE SIZE 1 AND SHALL ORIGINATE AT MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET IN CLOSE PROXIMITY TO THE PROPOSED EV CHARGER. CG96 4.106.4.1.
122 THE SERVICE PANEL SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RESERVATION TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS EV CAPABLE. CG96 4.106.4.1.
123 ALL 120V/125V, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER - RESISTANT RECEPTACLES PER CEC-406.12
124 FOR EXTERIOR LIGHTING, SPECIFY LUMINAIRES TO BE EFFICACY AND SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE PER CEC 150.0(1)(2)
a. CONTROLLED BY A MANUAL 'ON' AND 'OFF' SWITCH THAT DOES NOT OVERRIDE TO 'ON' THE AUTOMATIC ACTIONS OF ITEMS b) OR c) BELOW:
1. CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO 'ON' SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
2. CONTROLLED BY ONE OF THE FOLLOWINGS:
- PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
- ASTRONOMICAL TIME CLOCK
- ENERGY MANAGEMENT CONTROL SYSTEM
PROVIDE A DEDICATED GAS LINE FROM THE GAS METER TO THE WATER HEATER, REFER TO CPC 216.3 OR MANUFACTURER'S INSTALLATION MANUAL FOR A MINIMUM GAS PIPE SIZING
125 HSC 1921: ALL NEW WATER HEATER, AND ALL EXISTING RESIDENTIAL WATER HEATERS, SHALL BE BRACED/ANCHORED OR STRAPPED TO RESIST FALLING OR HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. AT A MINIMUM, ANY WATER HEATER SHALL BE SECURED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, OR MODIFICATIONS MADE THERETO BY A CITY, COUNTY, OR CITY AND COUNTY PURSUANT TO SECTION 17958.5.

GENERAL NOTES:

- GLAZING IN WINDOWS AND DOORS SHALL HAVE A U FACTOR OF 0.32 AND SHGC OR 0.25 UNLESS OTHERWISE NOTED.
ANY EXTERIOR BUILDING CHANGES (DESIGN), MATERIALS, COLORS, ETC. SHALL BE APPROVED BY ARCHITECT PRIOR TO COMMENCING WORK IN THESE AREAS.
V5 = VACANCY SENSOR
TOTAL LOAD OF NEW SERVICE PANEL IS LESS THAN 200amp. ELECTRICAL PANEL SHALL NOT BE INSTALLED IN REQUIRED SHEAR WALL, UNLESS AN ENGINEERING ANALYSES AND CONSTRUCTION DETAILS PROVIDED.
IN EVERY DWELLING UNIT, FIXED APPLIANCES SUCH FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, LAUNDRY TRAY LOCATIONS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, BUILT-IN HEATERS OR ANY OTHER FIXED APPLIANCES W/ MOTOR OF 1/4HP OR LARGER SHALL BE ON A SEPARATE 20amp BRANCH CIRCUIT. (ORD 2016-1026, ARTICLE 422.10 CEC).
ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREAS, WET BAR SINKS (WITHIN 6' OF EDGE OF SINK), BOATHOUSES, BATHTUB AND SHOWER STALLS (RECEPTACLES WITHIN 6' OF THE OUTSIDE EDGE OF TUB OR SHOWER STALL) SHALL WE HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI)
ALL BRANCH CIRCUITS SUPPLYING RECEPTACLES IN FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) (ART CLE 210.12(A) CEC).
AS OF JANUARY 1 2017, SENATE BILL 407 REQUIRES ALL NON-COMPLAINT PLUMBING FIXTURES IN SINGLE FAMILY RESIDENTIAL REAL PROPERTY TO BE REPLACED W/ WATER-CONSERVING PLUMBING FIXTURES, REGARDLESS OF WHETHER PROPERTY UNDERGOES ALTERATIONS OR IMPROVEMENTS. (CIVIL SECTION 1101.4, SB407).
NON-ABESTOS FIBER-CEMENT BACKER BOARDS, NON-ABESTOS FIBER-MAT REINFORCED CEMENTIOUS BACKER UNITS, GLASS MAT GYPSUM BACKING PANELS SHALL BE USED AS A BACKER FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (RT02.4.2).
PERMANENT INSTALLED LUMINAIRES IN BATHROOMS, ATTACHED AND DETACHED GARAGES, LAUNDRY ROOM AND UTILITY ROOMS SHALL MANUAL-ON/AUTOMATIC-OFF OCCUPANT SENSORS. ALSO KNOWN AS VACANCY SENSORS, AUTOMATICALLY TURN LIGHTS OFF IF AN OCCUPANT FORGETS TO TURN THEM OFF WHEN A ROOM IS UNOCCUPIED. ADDITIONALLY, THESE SENSORS ARE REQUIRED TO PROVIDE THE OCCUPANT WITH THE ABILITY TO MANUALLY TURN THE LIGHTS:
- OFF UPON LEAVING THE ROOM.
- OFF WHILE STILL OCCUPYING A ROOM.
ON UPON ENTERING THE ROOM.
SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) CLOSETS, NOOK, HALLWAYS, FAMILY ROOM, BEDROOMS, AND SIMILAR ROOMS.
ALL BRANCH CIRCUIT SUPPLYING RECEPTACLES IN DINING ROOM, LIVING ROOM
THE TWO PENDANTS OVER KITCHEN ISLAND SHALL BE INCANDESCENT WITH DIMMER
ROOM, GREAT ROOM, HALLS, FAMILY ROOM, BONUS ROOM, AND BEDROOMS, MINIMUM OF ONE SWITCH WITH DIMMER SHALL BE USED IN LIVING ROOM, DINING, LAUNDRY SHALL BE HIGH-EFFICACY OR EQUAL. ALL LIGHTING AT EXTERIOR, KITCHEN, BATHS, CLOSETS, HALLS, GARAGE
GLAZING IN WINDOWS AND DOORS SHALL HAVE A U FACTOR OF 0.32 AND SHGC OR 0.25 UNLESS OTHERWISE NOTED.



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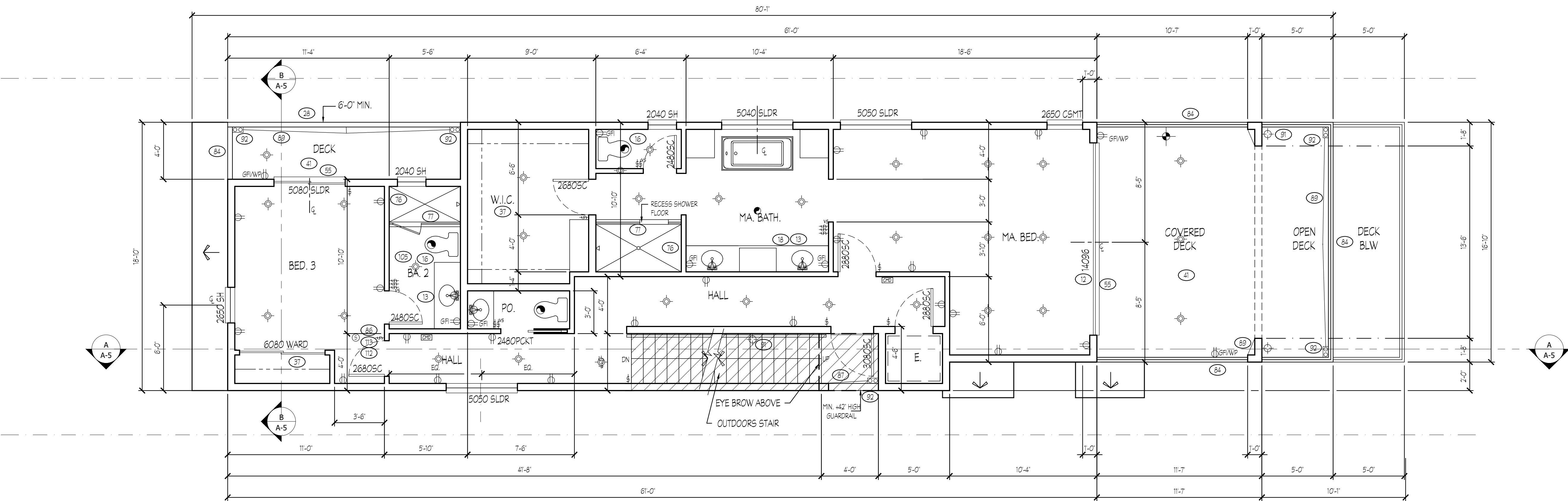
PROPOSED NEW RESIDENCE AT 618 PACIFIC COAST HIGHWAY FOR:

10622 Court Ave. LLC

5050 W. Mission Boulevard,
Ontario, CA 91762
(656) 340-5461

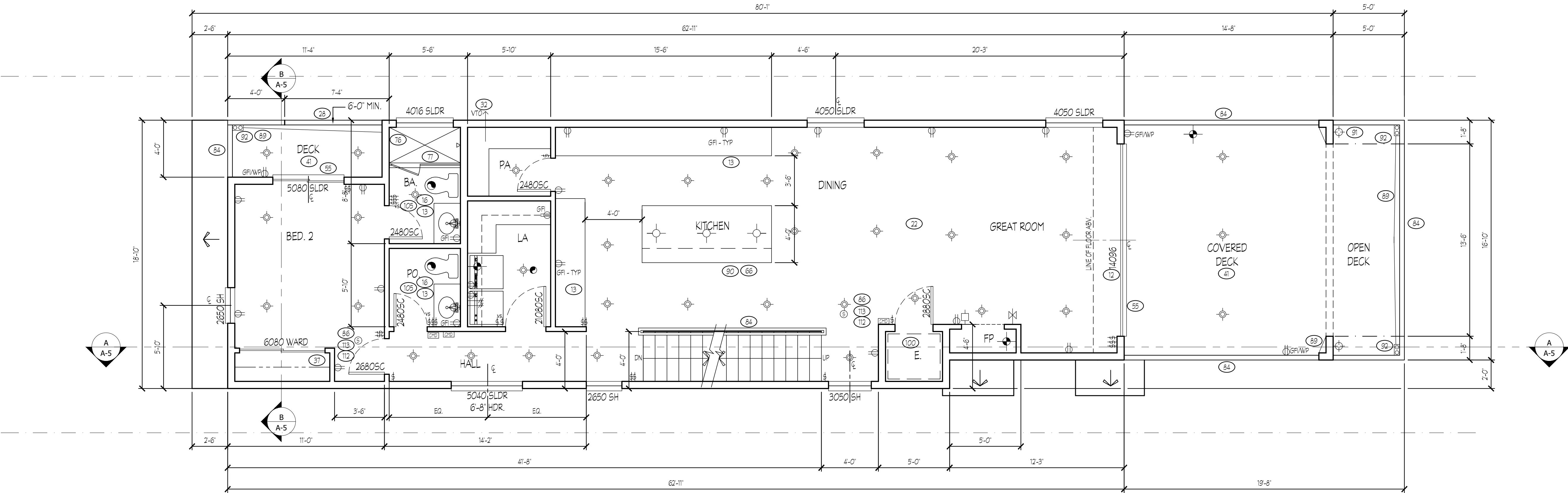
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SHEET
A-1
OF
SHEETS

NOTE:
SEE SHEET A-1 FOR TYPICAL NOTES.
SEE SHEET T-1 FOR ELECTRICAL SYMBOLS.



THIRD FLOOR PLAN - 618

50: 1/2"=1'-0"



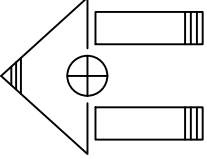
SECOND FLOOR PLAN - 618

50: 1/2"=1'-0"

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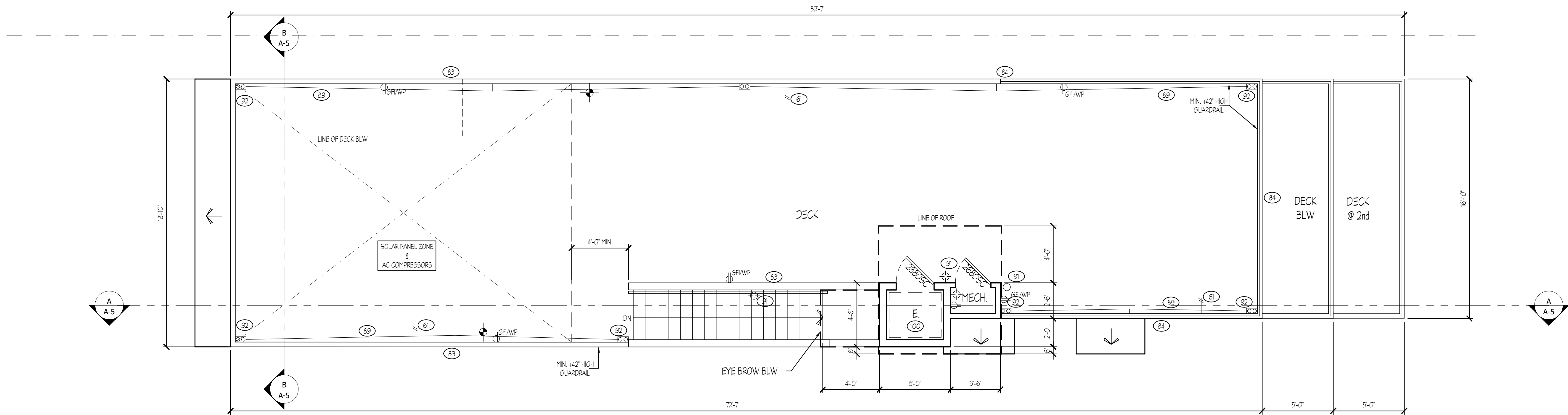
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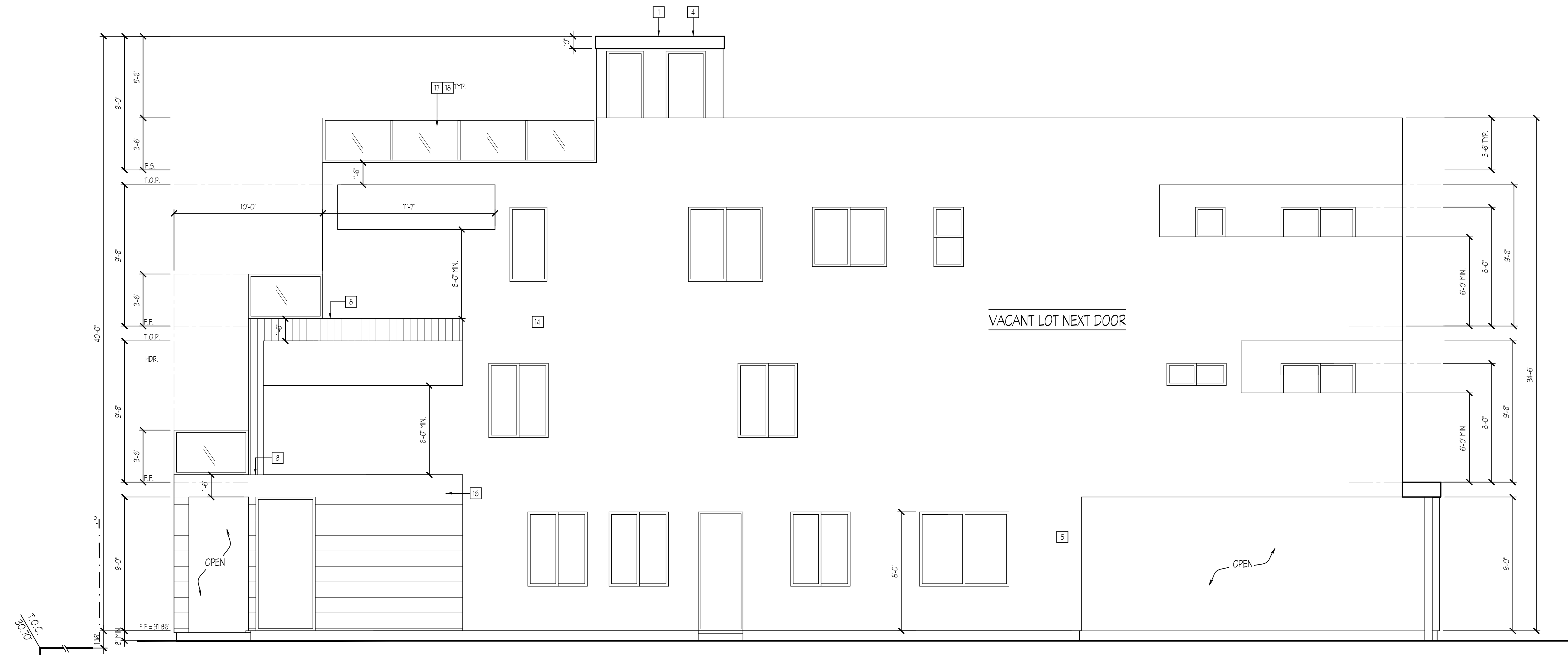
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(656) 340-5461

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DATE
SCALE 1/4"=1'-0"
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SHEET
A-2
OF
SHEETS



FOURTH FLOOR PLAN - 618

SC: 1/8"=1'-0"



PROPOSED SIDE ELEVATION - 618 PCH

SC: 1/8"=1'-0"

NOTE:
SEE SHEET A-1 FOR TYPICAL NOTES.
SEE SHEET T-1 FOR ELECTRICAL SYMBOLS.

EXTERIOR ELEVATION NOTES

- 1) FLAT BUILT-UP ROOFING
- 2) 1 1/2" DIA. SCREENED VENT HOLES W/ CORR. RESISTANT MTL MESH 1/8" DIM. E.W. TYP. @ VAULTED CLG. AREAS (VERIFY).
- 3) ROOF ATTIC DORMER VENTS - TYP. 1 SQ. FT. VENT FOR EVERY 50 SQ. FT. OF ATTIC AREA REQUIRED FOR ANY ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED.
- 4) 6/1. ROOF EDGE - TYP.
- 5) 1/8" SAND STUCCO
- 6) 7/8" SMOOTH STUCCO 0' MIN. CLASS 'D' PAPER - USE 2 - LAYERS OVER S.W. - TYP. VERIFY LOCATION.
- 7) 6/1. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 8) 6/1. FLASHING - TYP.
- 9) 6/1. WEEP SCREED - TYP. STUCCO WEEP SCREED - A MINIMUM 26GA. CORROSION-RESISTANT OR PLASTIC W/ MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- 10) STONE VENEER
- 11) BOARD & BATTEN
- 12) 2X4 CAP - VERIFY TYPE.
- 13) 2X BELLY BAND
- 14) SIDING VENEER
- 15) EYEBROW
- 16) EQUITONE MATERIAL - MA400
- 17) GLASS RAILING
- 18) GLASS UTILIZED AS PART OF THE PROJECT WILL BE BIRD SAFE FOR COMPLIANCE WITH COASTAL COMMISSION REQUIREMENTS.

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EXTERIOR ELEVATION NOTES

1. FLAT BUILT-UP ROOFING
2. 1 1/2" DIA. SCREENED VENT HOLES W/ CORR. RESISTANT MTL MESH 1/8" DIM. E.W. TYP. @ VAULTED CLG. AREAS (VERIFY)
3. ROOF ATTIC DORMER VENTS - TYP. 1 SQ. FT. VENT FOR EVERY 150 SQ. FT. OF ATTIC AREA REQUIRED FOR ANY ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED.
4. G.I. ROOF EDGE - TYP.
5. 7/8" SAND STUCCO
6. 7/8" SMOOTH STUCCO @ MIN. CLASS "D" PAPER - USE 2 - LAYERS OVER S.W. - TYP. VERIFY LOCATION
7. G.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
8. G.I. FLASHING - TYP.
9. G.I. WEEP SCREED - TYP. STUCCO WEEP SCREED; A MINIMUM 26GA. CORROSION-RESISTANT OR PLASTIC W/ MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
10. STONE VENEER
11. BOARD & BATTEN
12. 2x4 CAP - VERIFY TYPE.
13. 2x BELLY BAND
14. SIDING VENEER
15. EYEBROW
16. EQUITONE MATERIAL - MA400
17. 6" AGG RAILING

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DATE

SCALE
1/4" = 1'-0"

JOB NO.

SHEET

A-4

OF SHEETS

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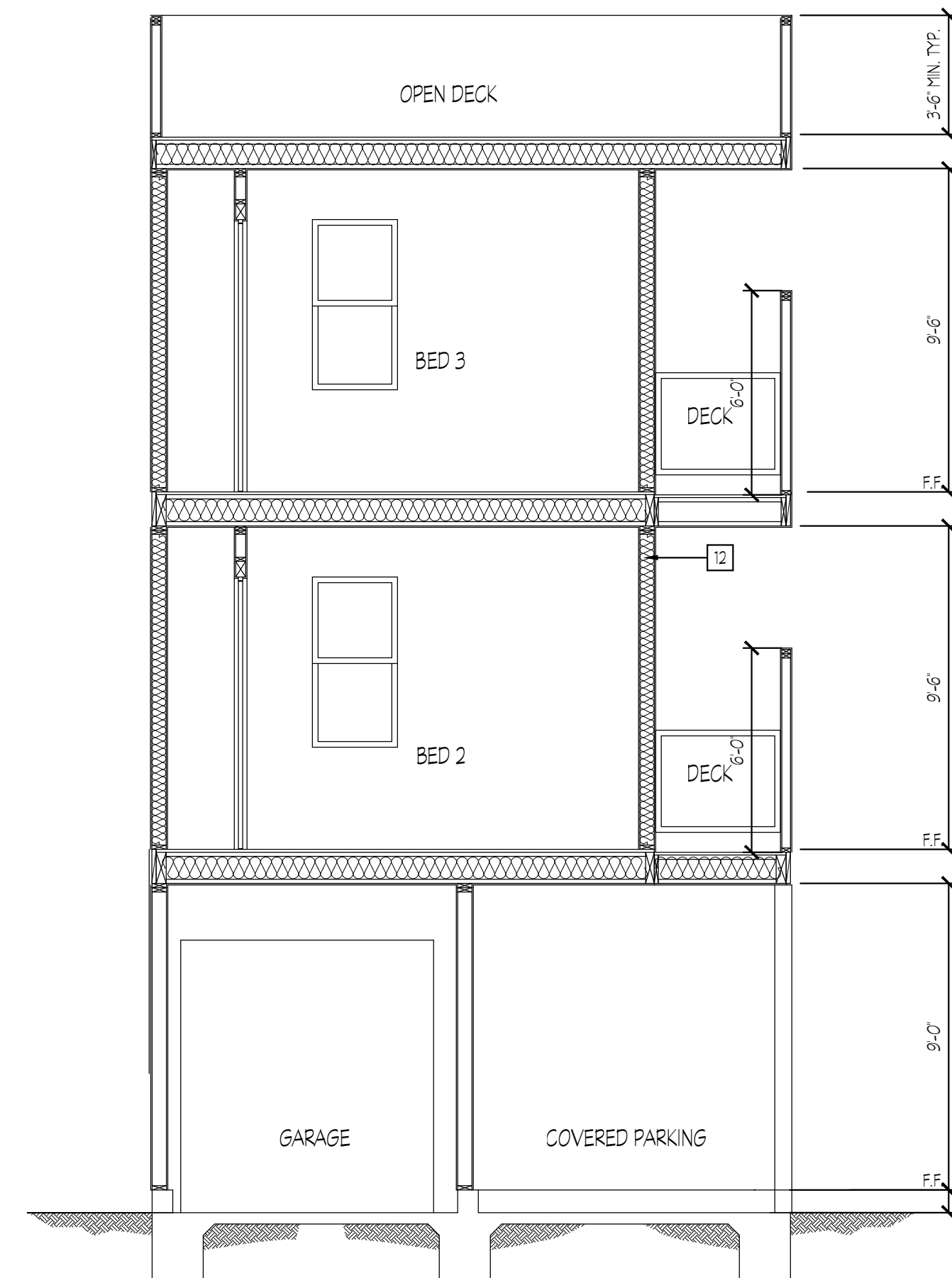
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A-5

OF SHEETS

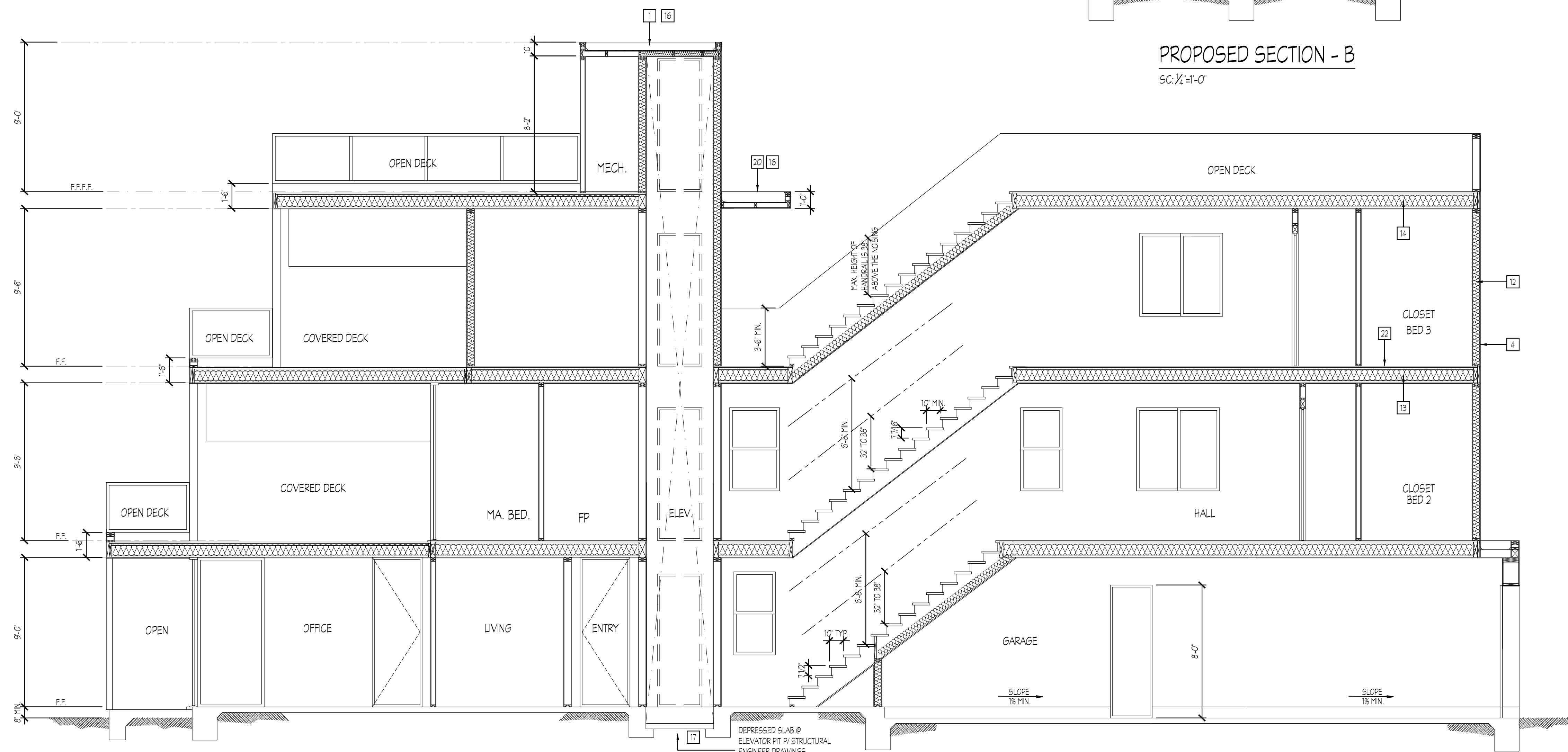
SECTIONS NOTES:

- 1 FLAT BUTT-ON ROOFING
- 2 ROOF AFTIC DORMER VENTS - TYP. 1 SQ. FT. FOR EVERY 150 SQ. FT. OF ATTIC AREA REQUIRED FOR AREAS WITH 30" HEAD CLEARANCE.
- 3 6:1. ROOF EDGE - TYP.
- 4 7/8" STUCCO O/M. CLASS "D" PAPER - USE 2 - LAYERS OVER S.W. - TYP.
- 5 42" HIGH RAILING WITH MAX. 3 7/8" OPENINGS - TYP.
- 6 6:1. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 7 6:1. WEEP SCREED 26 GA. MIN. - TYP.
- 8 6:1. FLASHING.
- 9 6:1. ROOF PARAPET CAP - TYP.
- 10 6:1. ROOF DRAIN, OVERFLOW DRAIN, GUTTER AND DOWNSPOUT.
- 11 STUCCO SOFFIT.
- 12 R-21 INSULATION
- 13 R-19 INSULATION
- 14 R-38 INSULATION
- 15 RADIANT BARRIER PLYWOOD ROOF SHEATHING (MIN. 1/2").
- 16 FRAMING - SEE STRUCTURAL.
- 17 FOUNDATION - SEE STRUCTURAL.
- 18 1/2" GYP. BRD.
- 19 5/8" GYP. BRD. (4 HOUR)
- 20 EYEBROW



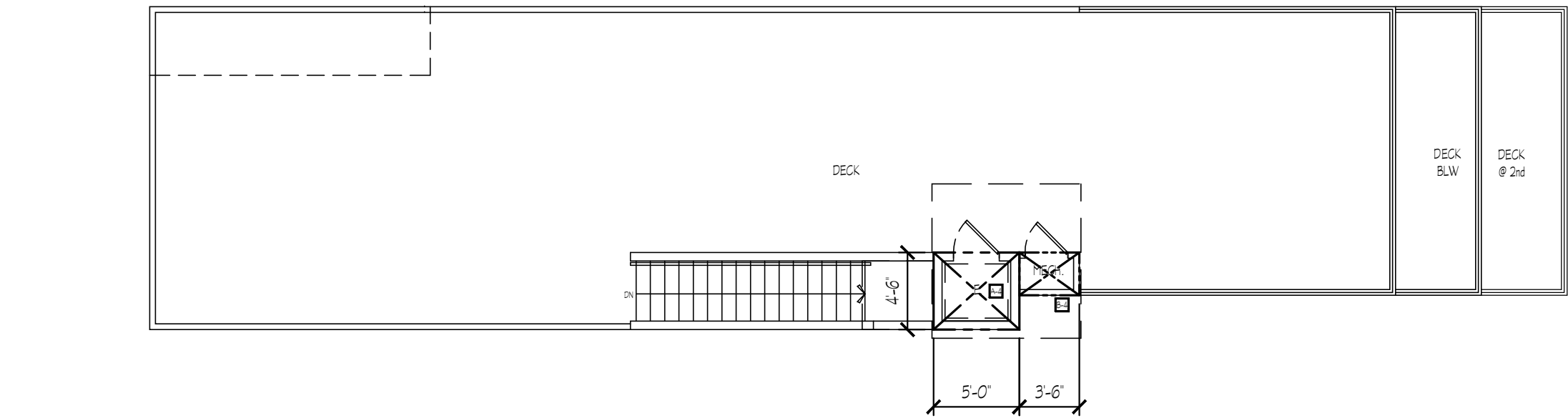
PROPOSED SECTION - B

SC: $\frac{1}{4}"=1'-0"$



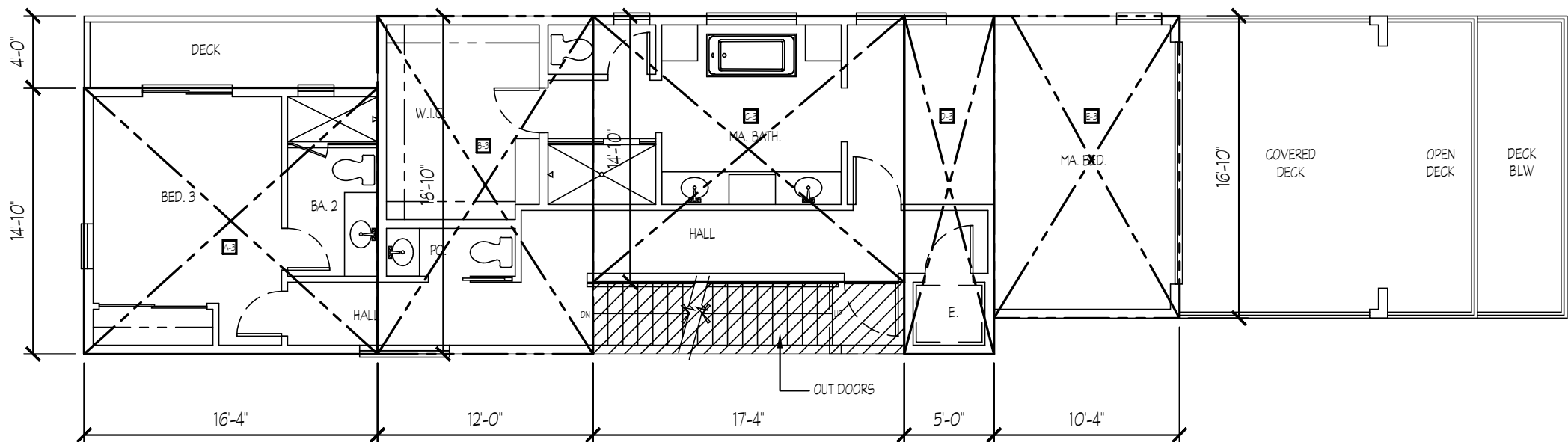
PROPOSED SECTION - A

SC: $\frac{1}{4}"=1'-0"$



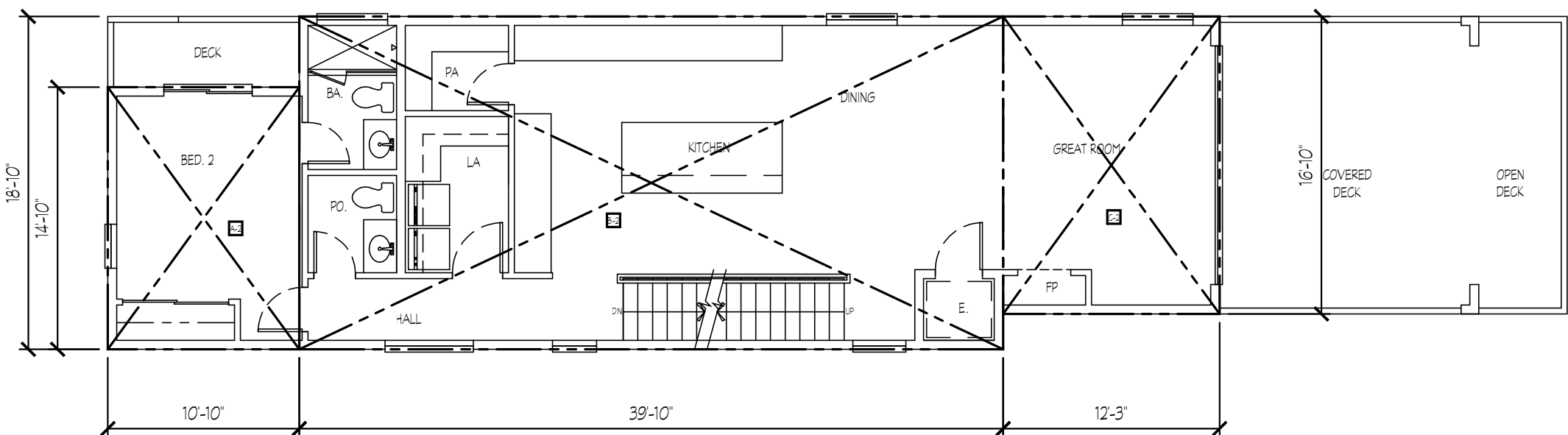
FOURTH FLOOR PLAN

SC: 1/8"=1'-0"



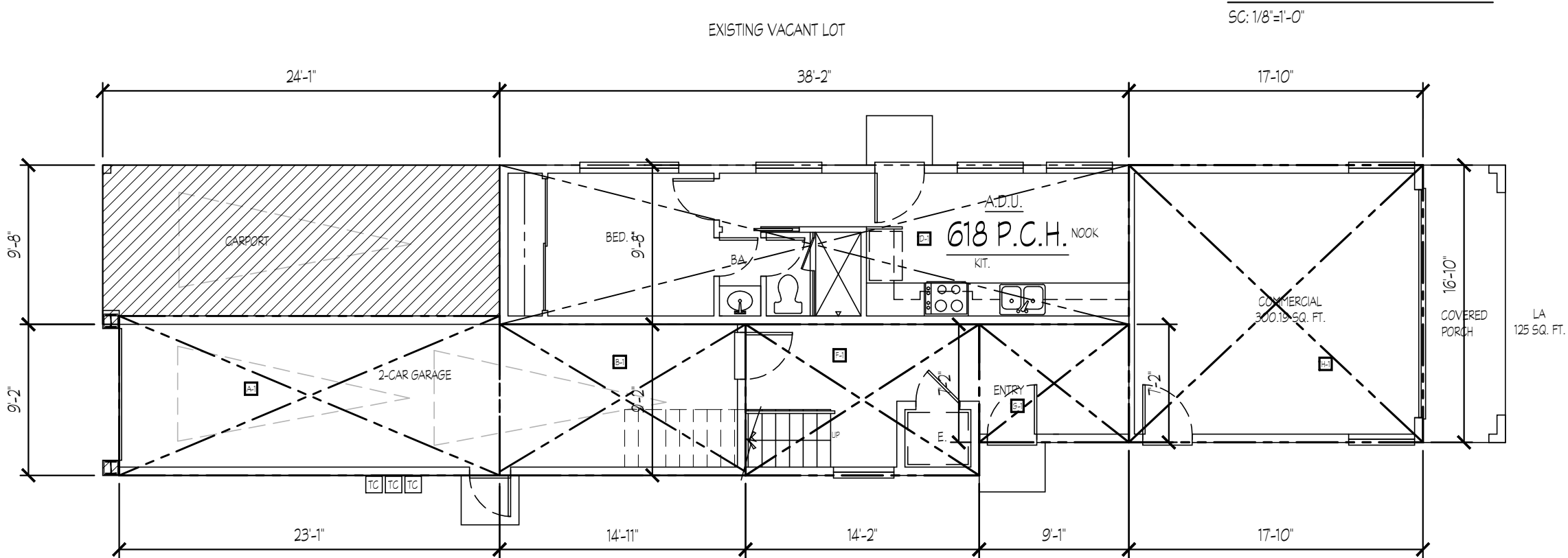
THIRD FLOOR PLAN

SC: 1/8"=1'-0"



SECOND FLOOR PLAN

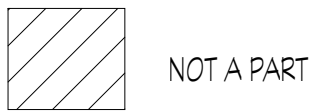
SC: 1/8"=1'-0"



FIRST FLOOR PLAN

SC: 1/8"=1'-0"

LEGEND:



FOURTH FLOOR AREAS CALCULATIONS			
A-4	5'-0" x 4'-6"	22.50 SQ. FT.	
B-4	3'-6" x 4'-6"	8.75 SQ. FT.	
	TOTAL LIVING	31.25 SQ. FT.	

THIRD FLOOR AREAS CALCULATIONS			
A-3	16'-4" x 14'-10"	242.27 SQ. FT.	
B-3	12'-0" x 18'-10"	225.99 SQ. FT.	
C-3	17'-4" x 14'-10"	257.11 SQ. FT.	
D-3	5'-0" x 18'-10"	94.16 SQ. FT.	
E-3	10'-4" x 16'-10"	173.94 SQ. FT.	
	TOTAL LIVING	993.47 SQ. FT.	

SECOND FLOOR AREAS CALCULATIONS			
A-2	10'-10" x 14'-10"	160.69 SQ. FT.	
B-2	39'-10" x 18'-10"	750.19 SQ. FT.	
C-2	12'-3" x 16'-10"	206.20 SQ. FT.	
	TOTAL LIVING	1117.08 SQ. FT.	

GARAGE AREAS CALCULATIONS			
A-1	23'-1" x 9'-2"	223.12 SQ. FT.	
B-1	14'-11" x 9'-2"	136.75 SQ. FT.	
	TOTAL GARAGE	448.46 SQ. FT.	

A.D.U. AREAS CALCULATIONS			
D-1	38'-2" x 9'-8"	368.96 SQ. FT.	
	TOTAL LIVING	368.96 SQ. FT.	

FIRST FLOOR AREAS CALCULATIONS			
F-1	14'-2" x 9'-2"	129.85 SQ. FT.	
G-1	9'-1" x 7'-2"	65.09 SQ. FT.	
	TOTAL LIVING	194.94 SQ. FT.	

COMMERCIAL AREAS CALCULATIONS			
H-1	17'-10" x 16'-10"	300.19 SQ. FT.	
	TOTAL COMMERCIAL	300.19 SQ. FT.	

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SCALE
1/8" = 1'-0"

JOB NO.

SHEET

A-6

OF SHEETS