

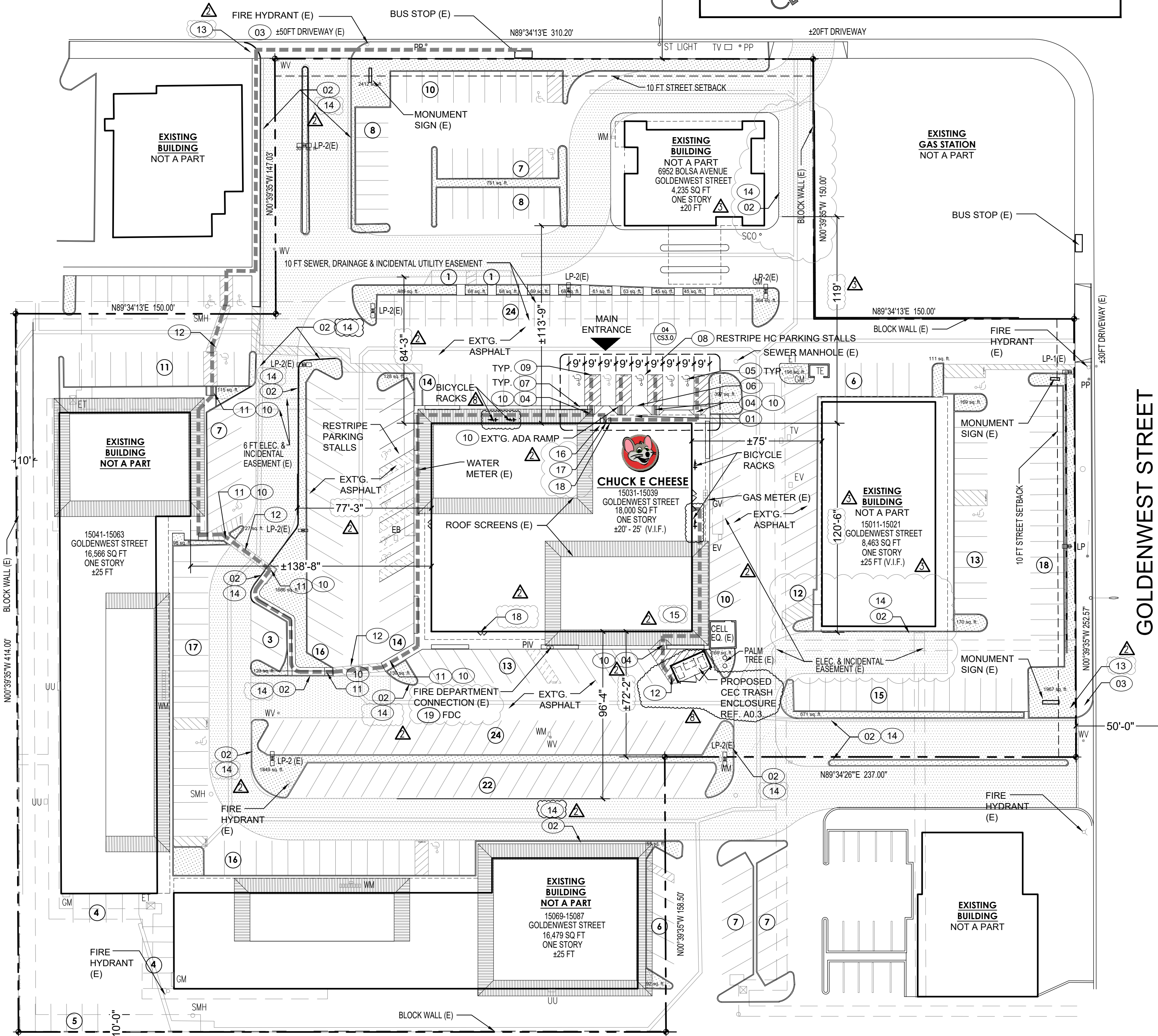
BOLSA AVE.

NOTE: OBJECTS AND PARKING INDICATED IN THE ARCHITECTURAL SKETCH ARE SHOWN FOR COORDINATION AND FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS.

TOTAL  
12,339 sq. ft.

LEGEND

- BUILDINGS  
PROPERTY LINE  
HANDICAP ACCESSIBLE ROUTE, REF. KEY NOTE #12  
PAINTED HANDICAP SYMBOL



01 ARCHITECTURAL SITE SKETCH

SCALE: 1" = 40'-0"

FIRE DEPARTMENT NOTES:

1. FIRE APPARATUS ACCESS

FIRE ACCESS ROADS SHALL BE PROVIDED AND MAINTAINED IN COMPLIANCE WITH CITY SPECIFICATION #401, MIN. STANDARDS FOR FIRE APPARATUS ACCESS. DRIVING AREA SHALL BE CAPABLE OF SUPPORTING A FIRE APPARATUS (75,000 LBS AND 12,000 LB POINT LOAD) MIN. FIRE ACCESS ROAD WIDTH IS 24 FT WIDE, WITH 13'-6" VERTICAL CLEARANCE. FIRE ACCESS ROADS FRONTING COMMERCIAL BUILDINGS SHALL BE A MIN. WIDTH OF 26 FT WIDE, WITH 13'-6" VERTICAL CLEARANCE.

FIRE ACCESS ROAD TURNS AND CORNERS SHALL BE DESIGNED W/A MIN. INNER RADIUS OF 17 FT AND A MIN. OUTER RADIUS OF 45 FT PER CITY SPECIFICATION #401 MIN. STANDARDS FOR FIRE APPARATUS ACCESS. NOTE: NO EXISTING FIRE LANES SHALL BE OBSTRUCTED OR REDUCED.

FIRE LANES, AS DETERMINED BY THE FIRE DEPARTMENT, SHALL BE POSTED, MARKED, AND MAINTAINED PER CITY SPECIFICATION #415, FIRE LANES SIGNAGE AND MARKINGS ON PRIVATE, RESIDENTIAL, COMMERCIAL AND INDUSTRIAL PROPERTIES. NO PARKING SHALL BE ALLOWED IN THE DESIGNATED 26 FT WIDE FIRE APPARATUS ACCESS ROAD OR SUPPLEMENTAL FIRE ACCESS PER CITY SPECIFICATION #415. NOTE: NO EXISTING FIRE LANES SHALL BE OBSTRUCTED OR REDUCED.

2. FIRE PROTECTION SYSTEMS

AUTOMATIC FIRE SPRINKLERS: THE EXISTING BUILDING IS EQUIPPED WITH A FIRE SPRINKLER SYSTEM. THE PROPOSED MODIFICATIONS WILL NEED TO PROVIDE COVERAGE COMPLIANT WITH THE CFC AND NFPA 13. ANY MODIFICATION TO THE EXISTING FIRE PROTECTION SYSTEM WILL REQUIRE A SEPARATE FIRE CONSTRUCTION PERMIT ISSUED BY THE HUNTINGTON BEACH FIRE DEPARTMENT.

FIRE ALARM SYSTEM MAY NEED TO BE MODIFIED FOR THIS PROJECT. THE EXISTING BUILDING IS EQUIPPED WITH A SPRINKLER MONITORING FIRE ALARM SYSTEM AND THE PROPOSED OCCUPANT LOAD MAY REQUIRE THAT THE FIRE ALARM SYSTEM BE UPGRADED TO A BUILDING ALARM SYSTEM. ANY MODIFICATIONS TO THE EXISTING FIRE PROTECTION SYSTEM WILL REQUIRE A SEPARATE FIRE CONSTRUCTION PERMIT ISSUED BY THE HUNTINGTON BEACH FIRE DEPARTMENT.

FIRE EXTINGUISHERS SHALL BE INSTALLED AND LOCATED ON ALL AREAS TO COMPLY HUNTINGTON BEACH FIRE CODE. STANDARDS FOUND IN CITY SPECIFICATION #424. THE MINIMUM REQUIRED DRY CHEMICAL FIRE EXTINGUISHER SIZE IS 2A 10BC AND SHALL BE INSTALLED WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING. EXTINGUISHERS ARE REQUIRED TO BE SERVICED OR REPLACED ANNUALLY.

COMMERCIAL FOOD PREPARATION FIRE PROTECTION SYSTEM REQUIRED FOR COMMERCIAL PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT AS SEPARATE PLANS FOR PERMITS AND APPROVAL.

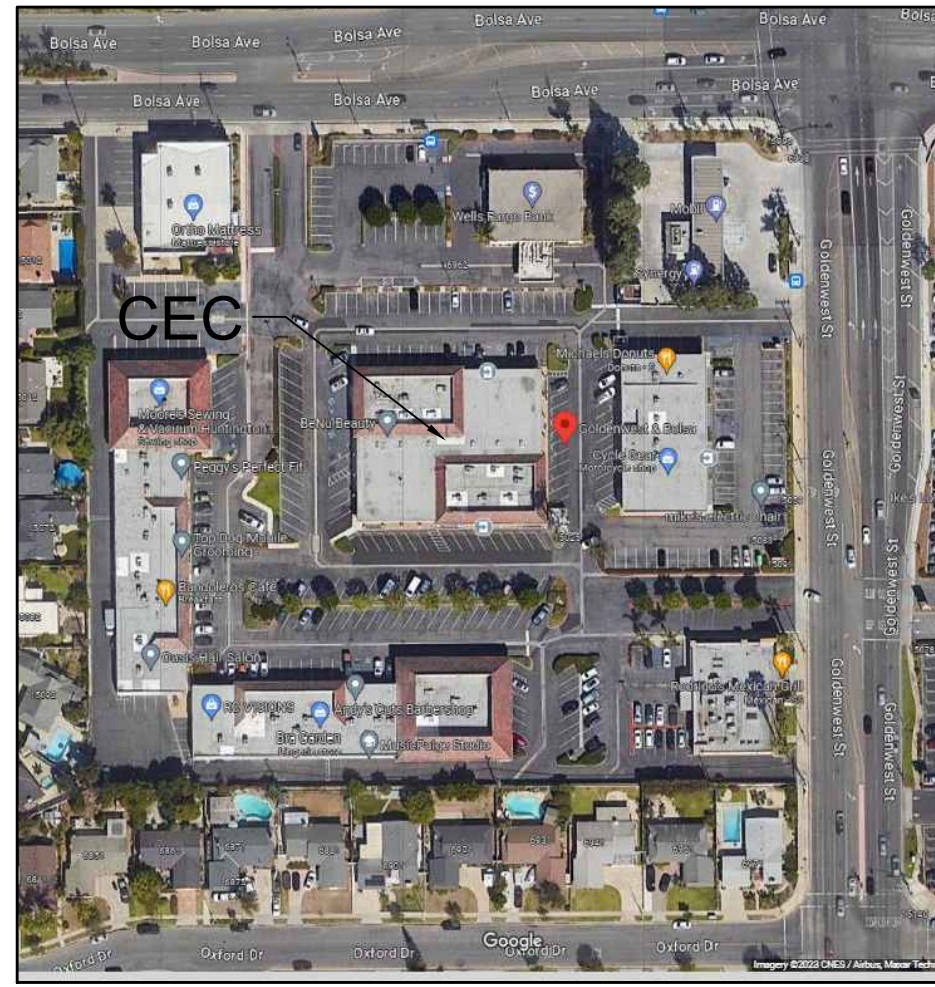
COOKING OIL TANKS. IF A COOKING OIL TANK IS GREATER THAN 60 GALLONS IS TO BE INSTALLED, A SEPARATE PLAN SUBMITTAL FOR IT IS REQUIRED AS IT IS A COMBUSTIBLE LIQUIDS TANK. A PLAN MUST BE SUBMITTED TO THE HBFD FOR REVIEW AND APPROVAL, A PERMIT ISSUED AND FINAL INSPECTION REQUIRED. SYSTEM SHALL BE DESIGNATED TO MEET THE REQUIREMENTS OF THE 2022 CFC AND NFPA 30.

3. FIRE PERSONNEL ACCESS

MAIN SECURED BUILDING ENTRIES SHALL UTILIZE A KNOX FIRE DEPARTMENT ACCESS KEY BOX, INSTALLED IN COMPLIANCE WITH CITY SPECIFICATION #403, FIRE ACCESS FOR PEDESTRIAN OR VEHICULAR SECURITY GATES & BUILDINGS. PLEASE CONTACT THE HUNTINGTON BEACH FIRE DEPARTMENT ADMINISTRATIVE OFFICE AT 714-536-5411 FOR INFORMATION. REFERENCE COMPLIANCE WITH CITY SPECIFICATION #403- KNOX FIRE DEPARTMENT ACCESS IN THE BUILDING PLAN NOTES

4. ADDRESSING AND STREET NAMES

COMMERCIAL BUILDING ADDRESS NUMBERS SHALL BE INSTALLED TO COMPLY WITH CITY SPECIFICATION #428, PREMISE IDENTIFICATION. BUILDING ADDRESS NUMBER SETS ARE REQUIRED ON FRONT AND REAR OF THE STRUCTURE AND SHALL BE A MINIMUM OF SIX (6") HIGH WITH ONE AND ONE HALF INCH (1 1/2") BRUSH STROKE. NOTE: UNITS SHALL BE IDENTIFIED WITH NUMBERS PER CITY SPECIFICATION #409 STREET NAMING AND ADDRESS ASSIGNMENT PROCESS. UNIT ADDRESS NUMBERS ARE TO BE IN CONTRASTING COLOR. FOR FIRE DEPARTMENT APPROVAL, REFERENCE COMPLIANCE WITH CITY SPECIFICATION #428 PREMISE IDENTIFICATION IN THE PLAN NOTES AND REFLECT THE ADDRESS LOCATION ON THE BUILDING.



VICINITY MAP

ZONE: GC COMMERCIAL DISTRICT  
PARCEL 1 PER T.R.  
PARCEL 2  
PMB 55 / 2  
APN: 145 - 231 - 21

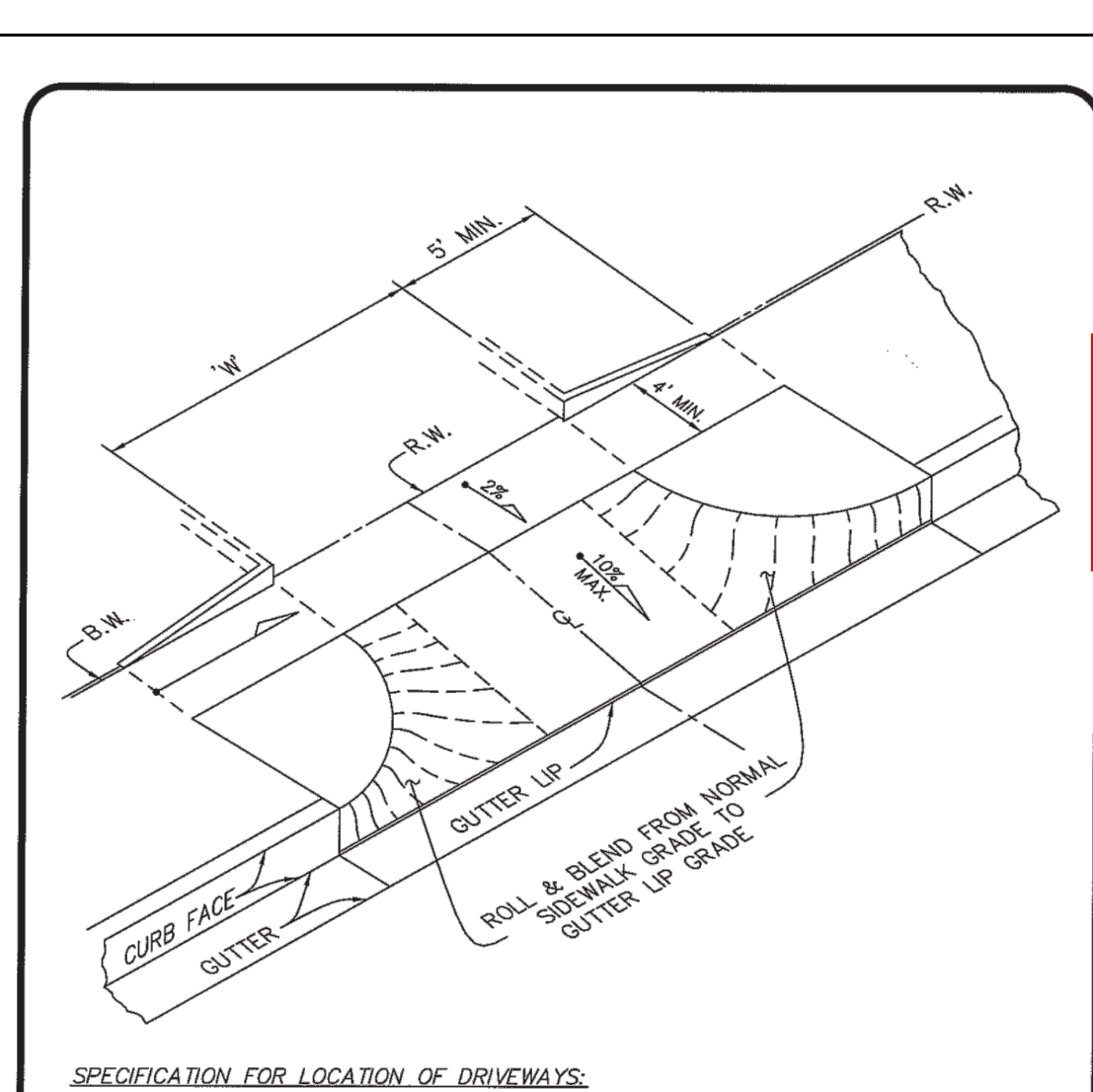
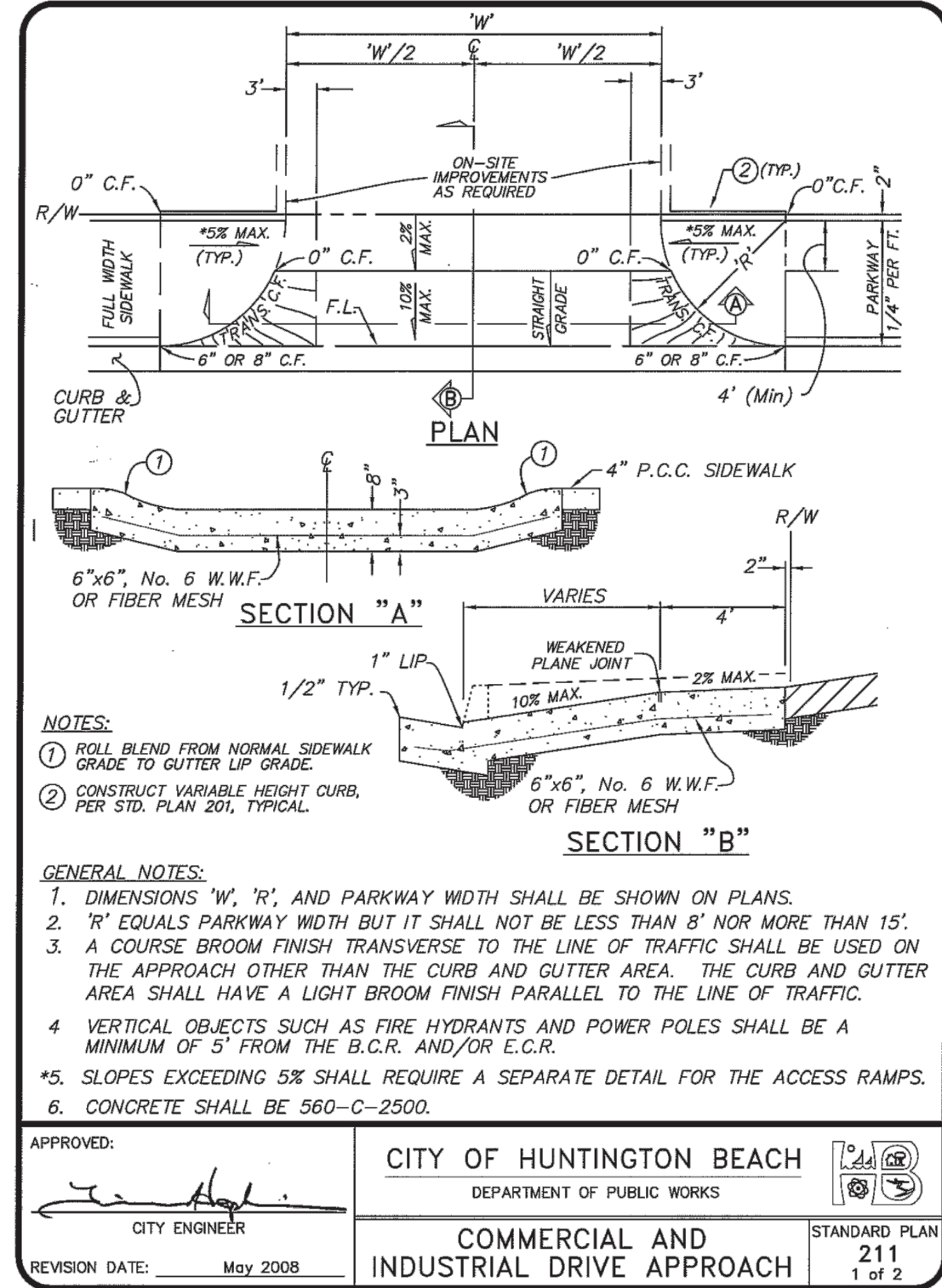
SUBJECT	CODE SECTION	REQUIRED	PROPOSED
PARKING	231.04	Permit (M): 1,700 63,785 SF 210 Spaces Existing (E): 1,700 SF 210 Spaces	Existing 12,925 of Approx.
LANDSCAPING	232.04	Existing (E): 1,700 SF 210 Spaces (200,232 sq. ft. - 63,785 sq. ft. = 136,447 sq. ft. @ 6% = 8,186.82 sq. ft.)	Existing 12,925 of Approx.
SITE COVERAGE	231.06	Min. 4% (E): 1,700 SF 210 Spaces Max. 4% (E): 1,700 SF 210 Spaces	Existing 12,925 of Approx.
SETBACKS	231.06	Front: 10 ft. Side: 0 ft. Rear: 0 ft. Street: 10 ft.	Front: 10 ft. Side: None Rear: None Street: 10 ft.
MAXIMUM HEIGHT OF STRUCTURES	230.70 & 230.72	50 ft.	20 ft. - 25 ft.
SCREENING OF MECH. EQUIPMENT	230.76	Roof mech. Equipment shall be setback 15 ft. from building edge & screened from view on all sides.	Existing roof screen to remain
REFUSE STORAGE	230.78	Screened on (S) sides with a 6 ft high masonry wall & equipped with a gate. Verify specifics with Director.	20 ft x 10 ft, 8 ft height masonry wall & 10 ft high metal roof enclosure with gates.
BICYCLE PARKING	231.2	Buildings up to 50,000 square feet of gross building area: One bicycle space For every 25 automobile parking spaces required, minimum of three.	4 bicycle spaces required

Land Use	Size	City of Huntington Beach Code Parking Ratio (1)	Spaces Required
Retail	28,216 SF	1 space per 200 SF of Gross Floor Area (GFA)	141
Restaurant With 12 Seats or Less	1,481 SF	1 space per 200 SF of GFA	7
Restaurant With More Than 12 Seats	1,580 SF	1 space per 100 SF of GFA	15
Medical Dental Office	2,631 SF	1 space per 175 SF of GFA	15
Health Club	2,374 SF	1 space per 200 SF of GFA	12
Family Entertainment	10,000 SF	1 space per 200 SF of GFA (2)	50
Office	625 SF	1 space per 250 SF of GFA	3
Personal Service	3,762 SF	1 space per 200 SF of GFA	19
Food and Financial Service	4,400 SF	1 space per 200 SF of GFA	22
Total	63,289 SF		222
A. TOTAL CITY CODE PARKING REQUIREMENT			222
B. PROPOSED PARKING SUPPLY			227
C. PARKING SURPLUS/DEFICIENCY ((C)-B) BASED ON FULL OCCUPANCY (B-A)			5

NOTES:  
(1) Source: City of Huntington Beach Municipal Code, Title 22 Zoning Code, Chapter 231-Off-Street Parking and Loading Provisions, Section 231.04.  
(2) Off-Street Parking and Loading Source Required.  
(3) The parking requirement of the proposed Project will be based on the City's retail auto parking code rates, as directed by City of Huntington Beach Planning Department Staff.

KEY PLAN NOTES

- INSTALL INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE ENTRANCE AND WITH ADDITIONAL DIRECTIONAL SIGNS, UTILIZING THE SYMBOL, AT JUNCTIONS, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS PER CBC 11B-216.6
- EXISTING FIRE LANES. NO EXISTING FIRE LANES SHALL BE OBSTRUCTED OR REDUCED.
- EXISTING DRIVEWAY APPROACHES ON THE PROJECT PROPERTY FRONTAGES ON BOLSA AVENUE AND GOLDENWEST STREET SHALL BE REMOVED AND REPLACED WITH AN ADA COMPLIANT APPROACHES PER PUBLIC WORKS STANDARD PLAN NO. 22. (ZSO 230.84) GC TO COORDINATE WITH LANDLORD WORK DONE BY OTHERS.
- INSTALL NEW ACCESSIBLE CURB RAMP PER CBC 11B-405.
- PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER CBC 11B-703.7.2.1.
- INSTALL VAN ACCESSIBLE PARKING SIGN AND POST PER CBC 11B-502.6.
- INSTALL ACCESSIBLE PARKING SIGN AND POST PER CBC 11B-502.6.
- ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN NUMBER AND KIND REQUIRED PER SECTION 11B-208 PARKING SPACES (11B-208.1)
- PAINT "NO PARKING" PAINTED IN WHITE WITH MINIMUM LETTER HEIGHT OF 12" PER CBC 11B-502.3.3 MARKING REQUIREMENTS.
- DETECTABLE WARNING WHERE THE ACCESSIBLE ROUTE CROSSES OR ADJOINS THE VEHICULAR PATH OF TRAVEL. PER CBC 11B-247.1
- EXISTING ACCESSIBLE RAMP W/ CIRCULATION PATH PER CBC 11B-250, VERIFY COMPLIANCE.
- PROVIDE ACCESSIBLE ROUTE; MINIMUM 48" CLEAR WIDTH, 5% MAXIMUM RUNNING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-401, 402.2, 11B502.3. GC TO COORDINATE WITH LANDLORD WORK DONE BY OTHERS.
- FIRE LANE POST ENTRANCE SIGN SHALL BE REQUIRED AT ALL ENTRANCES TO COMPLY WITH FIRE REQUIREMENTS STATED IN CITY SPECIFICATION #415, OPTION 2 (VERIFY EXISTING). GC TO COORDINATE WITH LANDLORD WORK DONE BY OTHERS.
- FIRE LANE MARKINGS CURBS PAINTED RED DESIGNATING THE FIRE LANE TO COMPLY WITH FIRE REQUIREMENTS STATED IN CITY SPECIFICATION #415, OPTION 2 (VERIFY EXISTING). COORDINATE WITH LANDLORD WORK DONE BY OTHERS.
- FIRE ALARM PANEL LOCATION. COORDINATE WITH FIRE ALARM PERMIT SUBMITTAL.
- FIRE ALARM ANNUNCIATOR LOCATION. COORDINATE WITH FIRE ALARM PERMIT SUBMITTAL.
- KNOX KEY BOX. COMPLY WITH CITY SPECIFICATION #403.
- INSTALL BUILDING ADDRESS NUMBER PER NOTE #4 FIRE COMMENTS THIS SHEET.
- FIRE DEPARTMENT CONNECTION



- SPECIFICATION FOR LOCATION OF DRIVEWAYS:
- "W"=26' MINIMUM TO 45' MAXIMUM WIDTH, UNLESS OTHERWISE DETERMINED BY THE CITY ENGINEER.
  - TOTAL DRIVEWAY WIDTHS SHALL NOT EXCEED 70% OF THE FRONTAGE.
  - THE SAME PARCEL SHALL HAVE 22' MINIMUM OF FULL HEIGHT CURB BETWEEN DRIVEWAYS.
  - ALL PLANNED DRIVEWAY OPENINGS SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION, FOR REVIEW AND APPROVAL. THE NUMBER OF DRIVEWAY OPENINGS SHALL BE NO MORE THAN ARE NEEDED TO ADEQUATELY SERVE THE PARCEL.
  - SEE STD. PLAN 211, SHEET 1 of 2, FOR DIMENSION AND SECTION DETAILS.

APPROVED: CITY ENGINEER  
CITY OF HUNTINGTON BEACH  
DEPARTMENT OF PUBLIC WORKS  
COMMERCIAL AND INDUSTRIAL DRIVE APPROACH  
REVISION DATE: May 2008

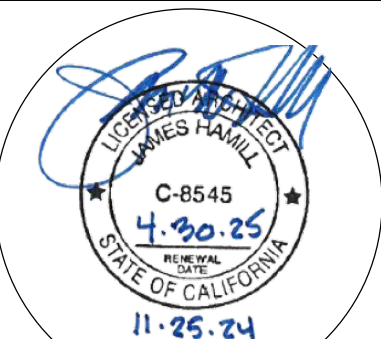
ACCESSIBLE PARKING GENERAL NOTES - VERIFY COMPLIANCE:

- ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAX OF 36" O.C. IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE PER CBC 11B-502.3.3
- SHOW THE WORDS "NO PARKING" PAINTED IN THE ACCESS AISLE IN WHITE LETTERS A MIN 12" HIGH PER CBC 11B-502.3.3.
- SURFACE SLOPES OF ACCESSIBLE PARKING SPACES AND LOADING-UNLOADING AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION PER CBC 11B-502.4.  
A) SIGNAGE AT ACCESSIBLE PARKING SPACES PER CBC 11B-502.6. SIGN SHALL INCLUDE ISA COMPLYING WITH CBC 11B-703.7.2.1.  
B) SIGN IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE "VAN ACCESSIBLE."  
C) PROVIDE ADDITIONAL SIGNAGE BELOW THE ISA SIGNAGE STATING "MINIMUM FINE \$250" PER CBC 11B-502.6.2.  
D) SIGN SHALL BE 60" MIN ABOVE THE FINISHED FLOOR OR GROUND MEASURED TO THE BOTTOM OF THE SIGN (SIGN LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE A MIN 80" ABOVE THE FINISHED SURFACE).  
E) PROVIDE A SIGNAGE AT THE ENTRANCE OF THE SITE (OR IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING) WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT \_\_\_\_ OR BY TELEPHONING \_\_\_\_." CBC 11B-502.8.2.



James M. Hamill AIA  
560 Decker Drive Ste. 170  
Irving, Texas 75062  
Phone 972/714-0420

RECEIVED  
3/25/25



PERMIT SET  
THIS IS A PERMIT SET AS SET BY THE CITY ENGINEER AND PROCESS ESTABLISHED BY CEC ENTERTAINMENT, INC.

CHUCK E. CHEESE PIZZA #406  
SHOPPING CENTER  
15031 GOLDENWEST ST.  
HUNTINGTON BEACH, CA 92647

HUNTINGTON BEACH, CA

CEC ENTERTAINMENT, INC.  
1707 MARKET PLACE BLVD SUITE 200  
IRVING, TX 75063

SITE SKETCH

REVISIONS

06-03-24	CITY COMMENTS
06-24-24	FIRE COMMENTS - REVIEW#2
11-22-24	RELO. TRASH CEN./BKE. RACKS PER FIELD CONDITIONS

PROJECT NUMBER: CEC#406

DATE: 01/30/2024

SHEET: A0.0

01 of 23













James M. Hamill AIA

560 Decker Drive Ste. 170  
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Community Development  
Plans Dated: 12/17/2024  
New Revised B2024-001127 (15031  
Goldenwest ST) Approved Plans

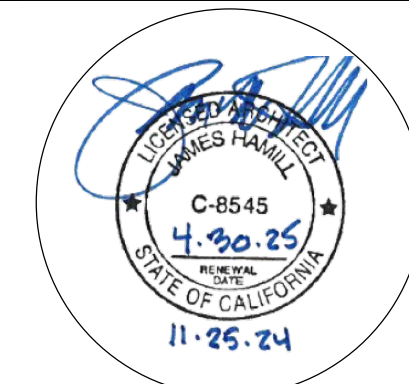
CSG CONSULTANTS, INC.  
THESE PLANS AND DETAILS ARE

**REVIEWED FOR  
CODE COMPLIANCE**

THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT  
OR ANY VIOLATION OF ANY CODE OR ORDINANCE

By: *San El-Khaz*  
Date: 12/13/24

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INTERIOR ELEVATIONS

REVISIONS

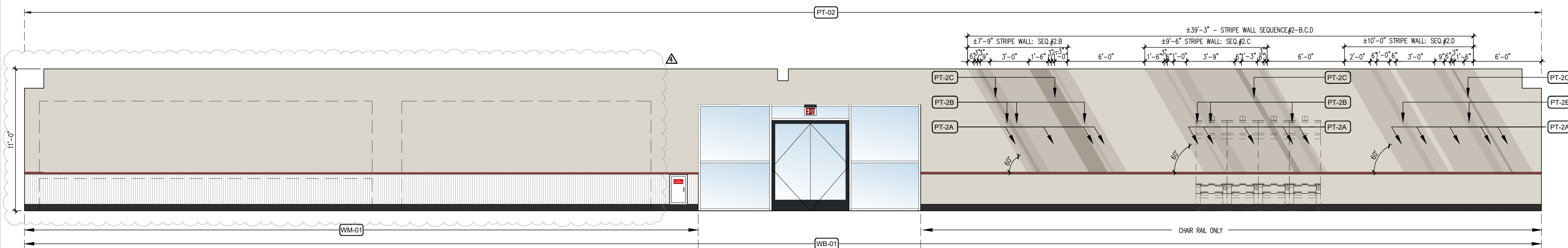
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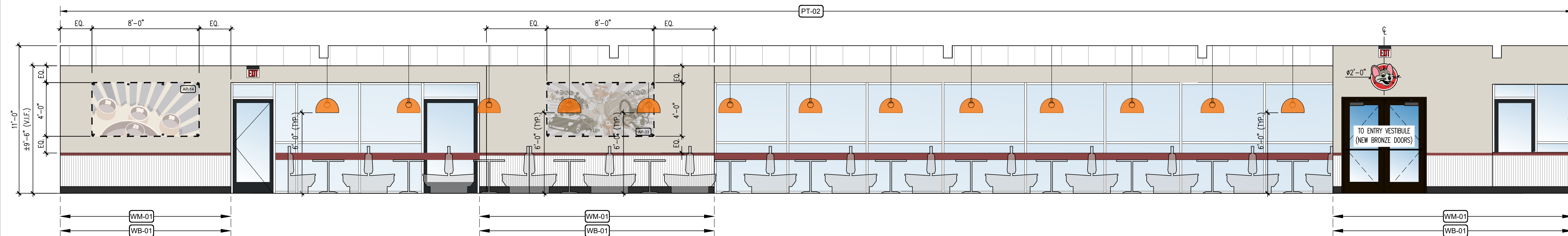
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**A5.0**  
12 OF 23



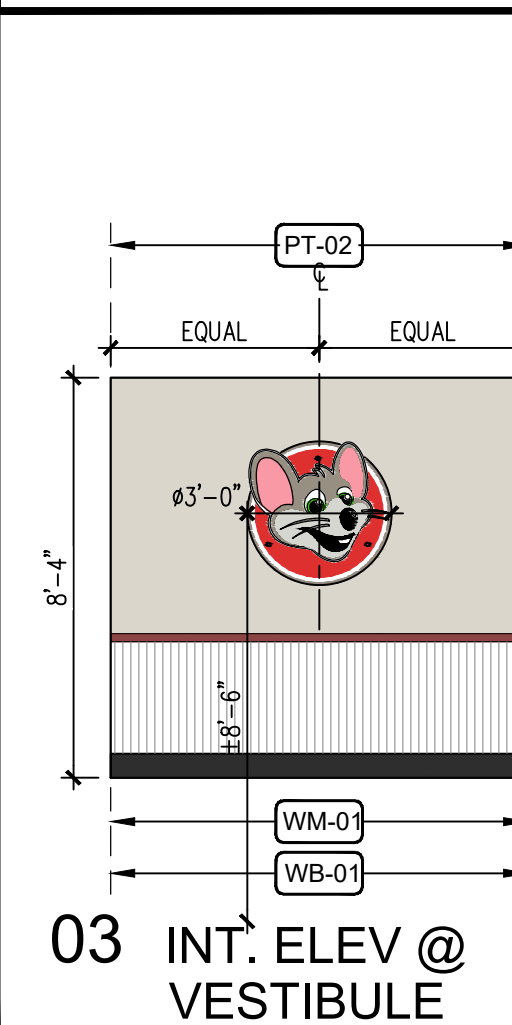
01 INT. ELEV. @ BIRTHDAY DINING CHARACTER WALL

SCALE: 1/4" = 1'-0"



02 INT. ELEV @ SKILLS STOREFRONT WALL

SCALE: 1/4" = 1'-0"



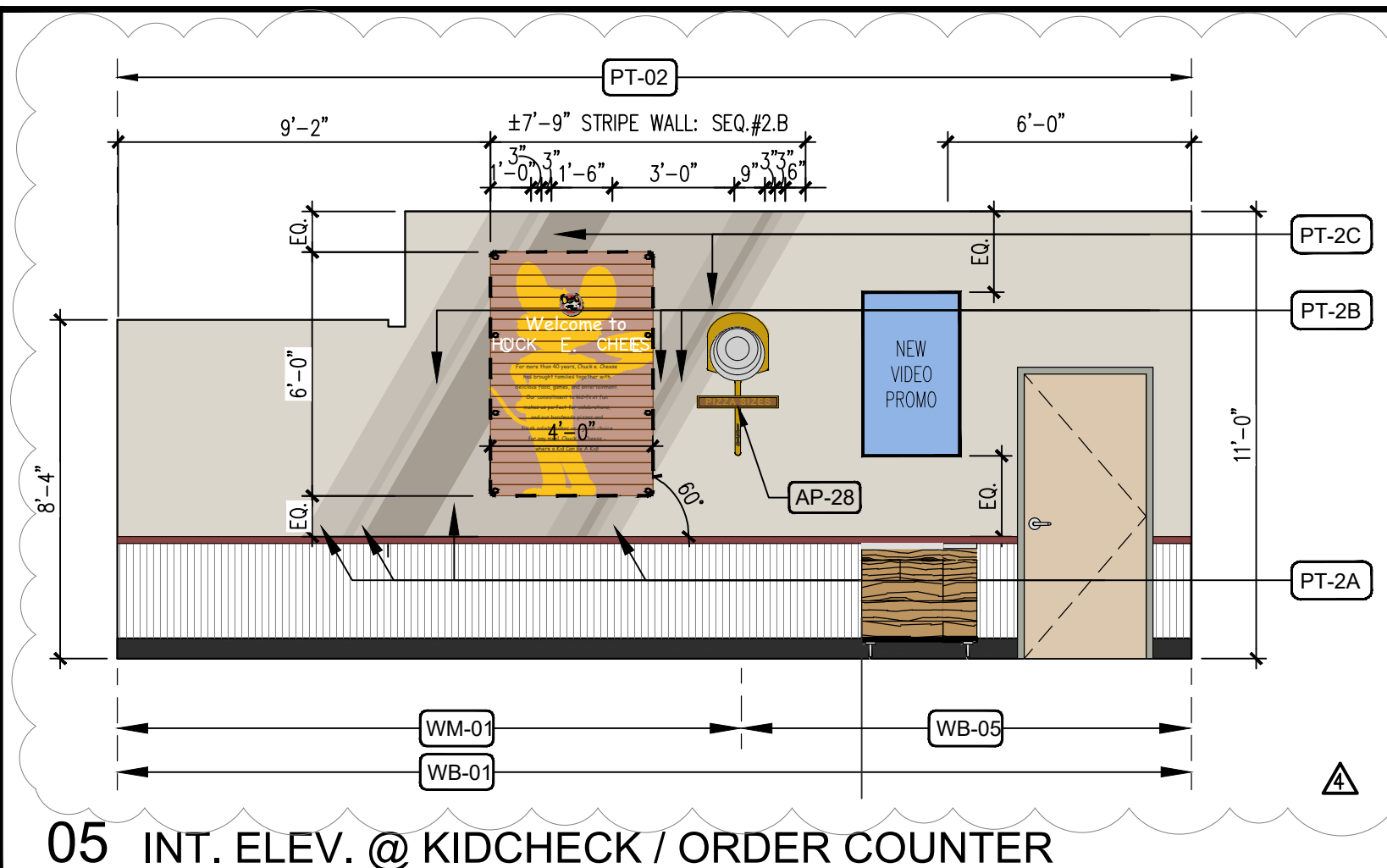
03 INT. ELEV @ VESTIBULE

SCALE: 1/4" = 1'-0"



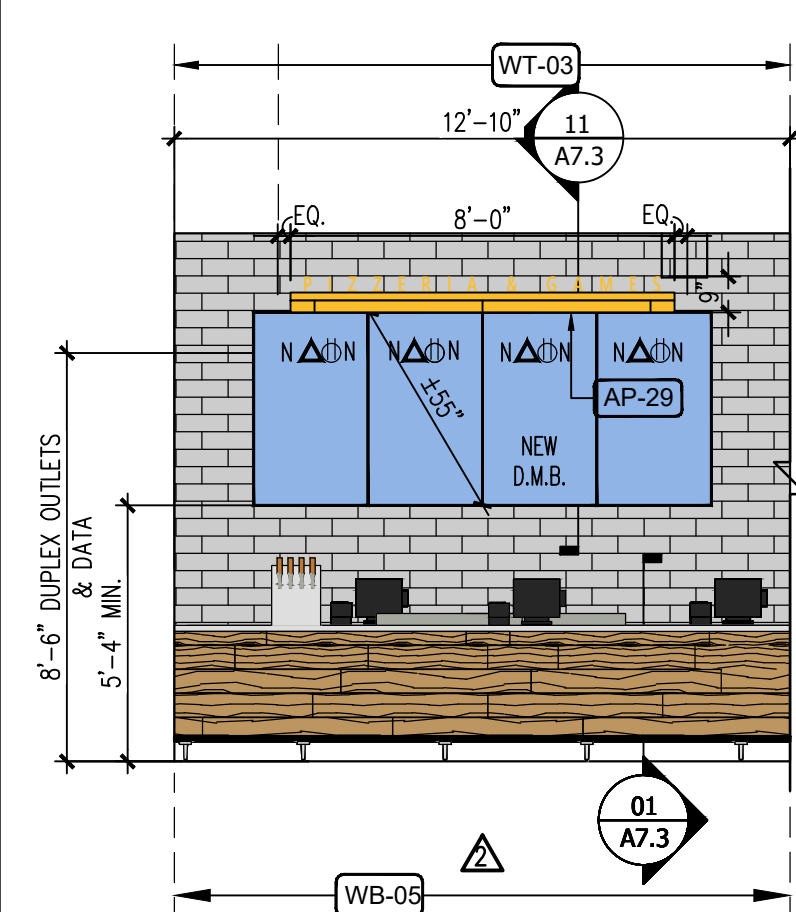
04 INT. ELEV @ KIDCHECK

SCALE: 1/4" = 1'-0"



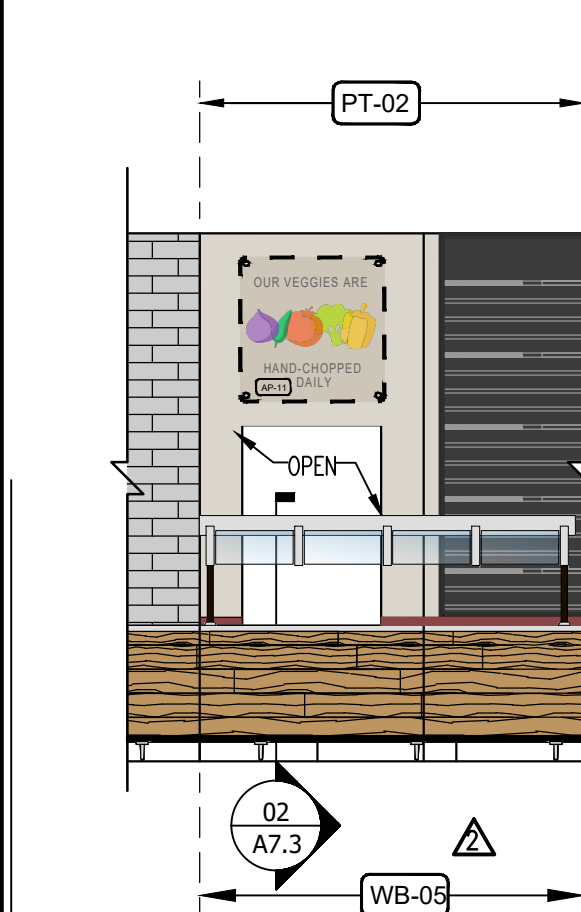
05 INT. ELEV. @ KIDCHECK / ORDER COUNTER

SCALE: 1/4" = 1'-0"



06 INT. ELEV @ ORDER COUNTER

SCALE: 1/4" = 1'-0"



07 INT. ELEV @ SALAD BAR

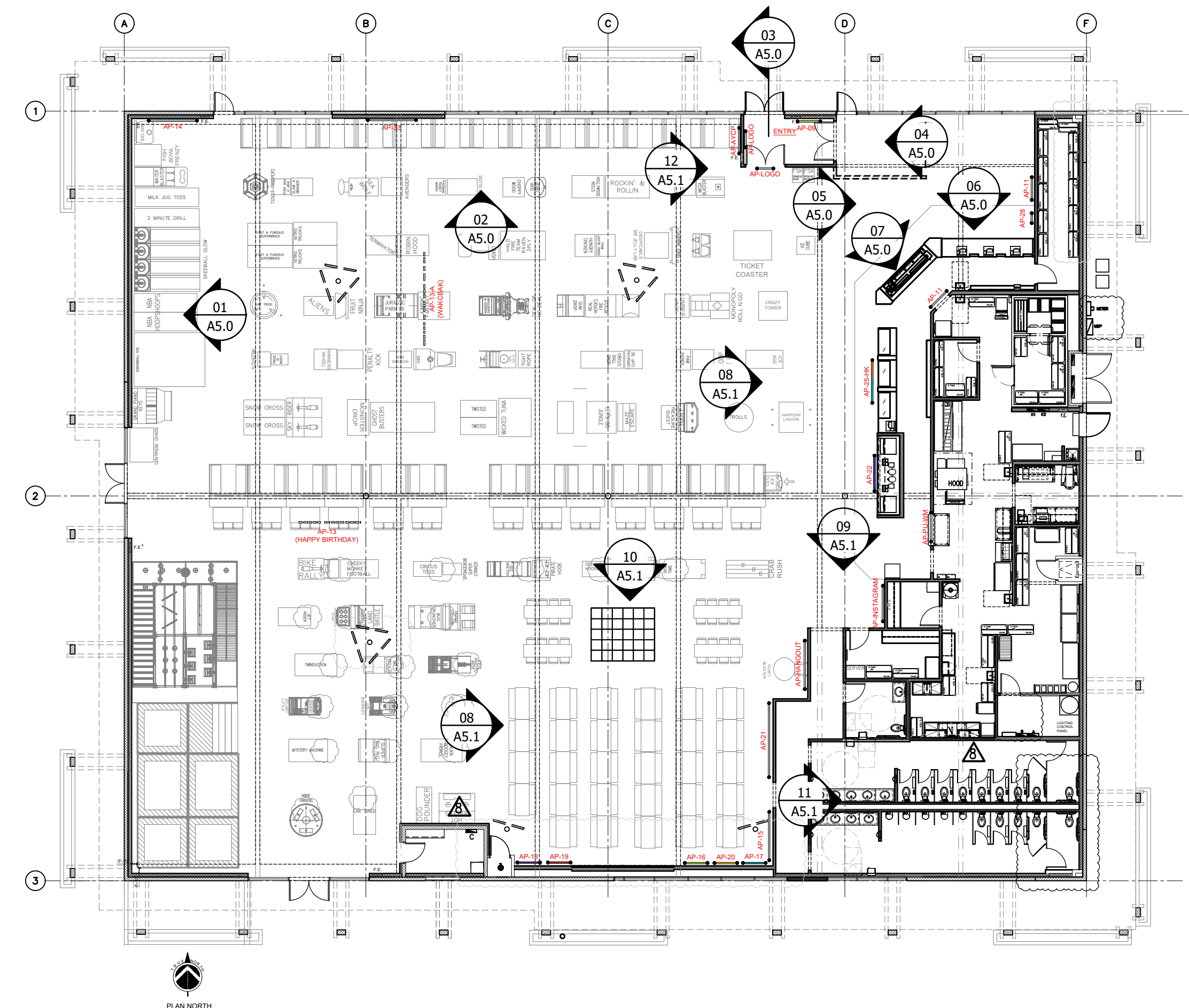
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- SIGN CO. TO PROVIDE SIZED WALL ART. INSTALL BY G.C. COORDINATE FINAL INSTALLATION WITH CEC.
- REF. A2.1 WALL FINISH PLAN & A2.2 FINISH SCHEDULE.
- LEVEL #4 FINISH @ CHARACTER WALL
- (E) - EXISTING TO REMAIN; (D) DEMO AS INDICATED; (R) - RELOCATED AS INDICATED; (N) - NEW AS INDICATED.

### LEGEND

PT-XX	SCHEDULED PAINT; REF SHT A2.2		RECESSED FIRE EXTINGUISHER CABINET / WALL MOUNTED FIRE EXTINGUISHER
WB-XX	SCHEDULED BASE; REF SHT A2.2		SECURITY SYSTEM DISPLAY MONITOR
FRP-XX	SCHEDULED FINISH; REF SHT A2.2		HAND SANITIZER DISPENSER
AP-XX	SCHEDULED ART PANEL; REF SHT A2.2		THERMOSTAT CONTROL
	WALL MOUNTED PULL FIRE ALARM		COAT RACK
	WALL MOUNTED FIRE STROBE ALARM		MANAGERS CONTROL PANEL
	WALL MOUNTED ILLUMINATED EGRESS		MANAGERS TERMINAL
	WALL MOUNTED EGRESS SIGN W/ BACKUP LIGHT		AREA NOT SUBJECTED TO REMODELING
	WALL MOUNTED EM1		
	SECURITY SYSTEM ALARM PANEL		
	MOTION SENSOR		



INTERIOR ELEVATION KEY PLAN: 1/16" = 1'-0"





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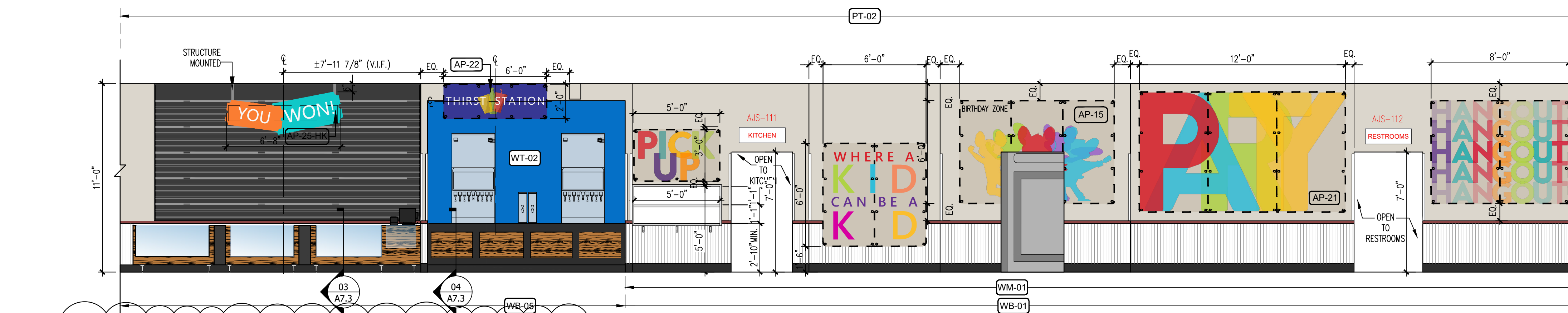
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A5.1  
13 OF 23

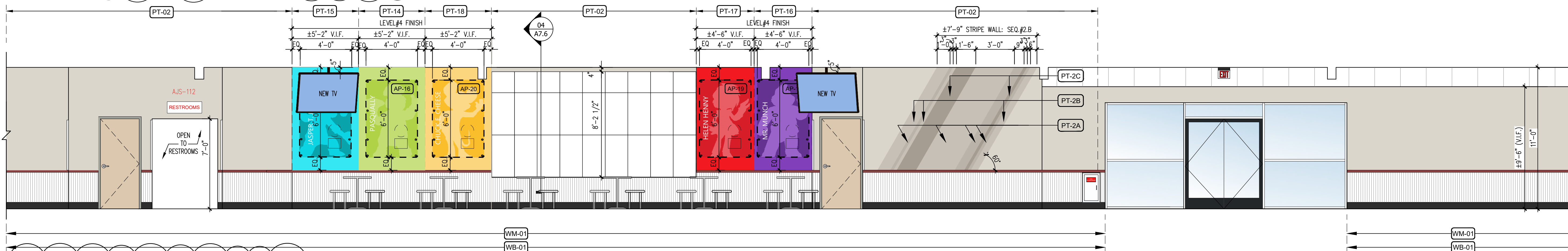
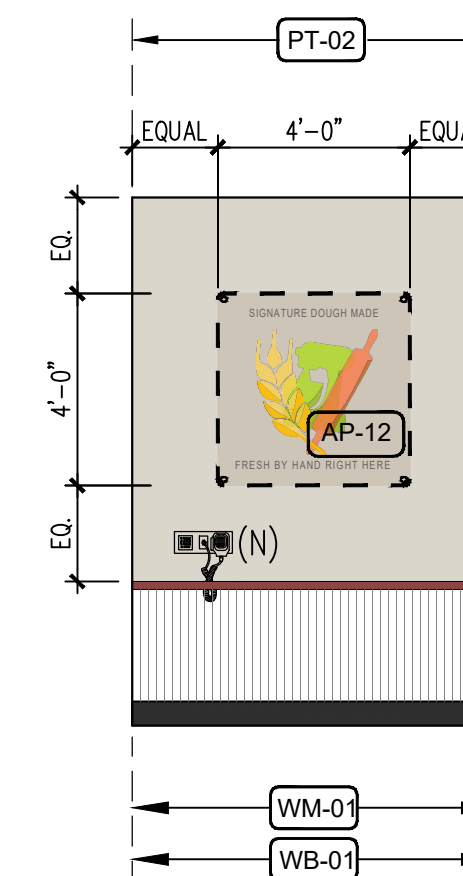


08 INT. ELEV @ MERCHANDISE / BEV. BAR / PIZZA PICK UP

SCALE: 1/4" = 1'-0"

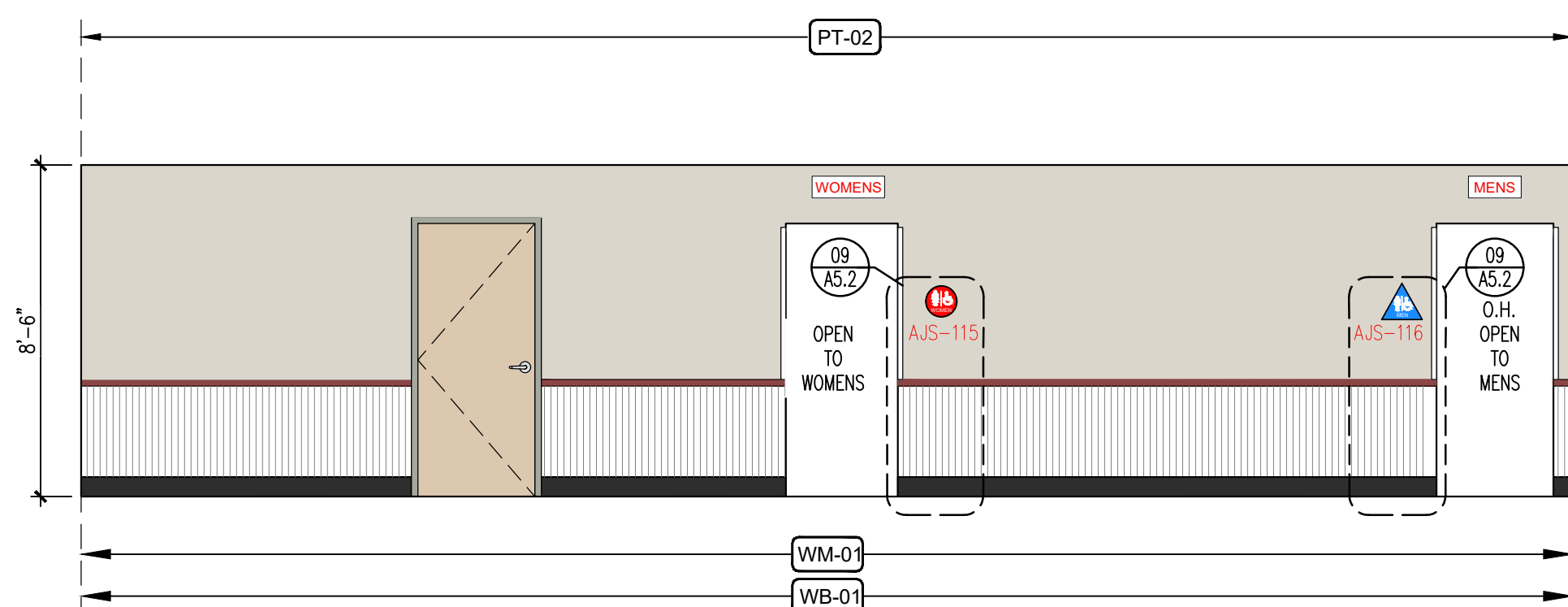
09 INT. ELEV

SCALE: 1/4" = 1'-0"



10 INT. ELEV @ SKILLS / BIRTHDAY DINING

SCALE: 1/4" = 1'-0"



11 INT. ELEV @ RESTROOMS

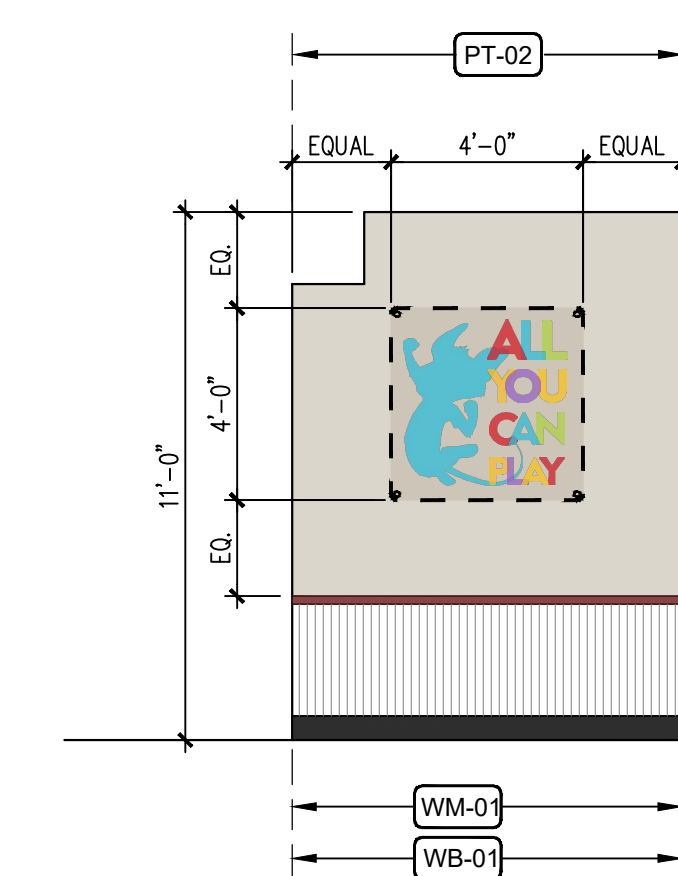
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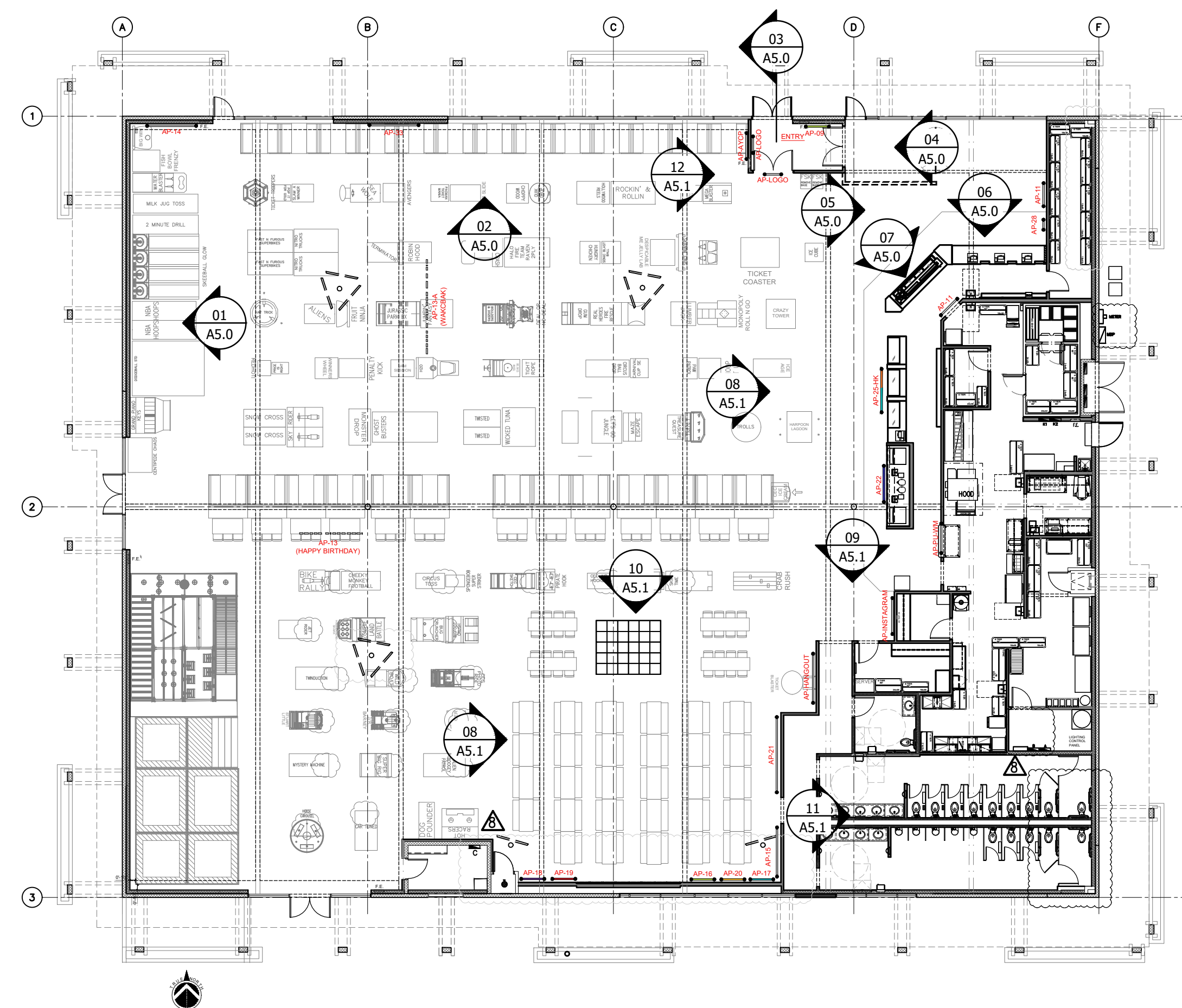
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	WALL MOUNTED EGRESS SIGN W/ BACKUP LIGHT		AREA NOT SUBJECTED TO REMODELING
	WALL MOUNTED EM1		
(SA)	SECURITY SYSTEM ALARM PANEL		
	MOTION SENSOR		



12 INT. ELEV @ SKILLS

SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION KEY PLAN: 1/16" = 1'-0"